



Coachella Civic Center, Hearing Room
53-462 Enterprise Way, Coachella, California
(760) 398-3502 ♦ www.coachella.org

AGENDA

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

November 16, 2022
6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

If you would like to attend the meeting via zoom, here is the link:

<https://us02web.zoom.us/j/84544257915?pwd=VTdHWitpYVdOUk1NQW8vZ1pqUm0zQT09>

Or one tap mobile :

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Webinar ID: 845 4425 7915

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Spanish: El idioma español está disponible en Zoom seleccionado la opción en la parte de abajo de la pantalla

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In real time:

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In writing:

Written comments may be submitted to the commission electronically via email to gperez@coachella.org. Transmittal prior to the start of the meeting is required. All written comments received will be forwarded to the commission and entered into the record.

IF YOU WISH, YOU MAY LEAVE A MESSAGE AT (760) 398-3102, EXTENSION 122, BEFORE 4:00 P.M. ON THE DAY OF THE MEETING.

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF AGENDA:

“At this time the Commission may announce any items being pulled from the agenda or continued to another date or request the moving of an item on the agenda.”

APPROVAL OF THE MINUTES:

1. Planning Commission Minutes - October 26, 2022 and November 2, 2022

WRITTEN COMMUNICATIONS:

PUBLIC COMMENTS (NON-AGENDA ITEMS):

“The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes.”

REPORTS AND REQUESTS:

NON-HEARING ITEMS:

2. Harrison Corridor Study - Receive and File

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

3. McDonald’s Restaurant Drive Through Reconfiguration

Conditional Use Permit No. 358 and Amendment to Architectural Review No. 15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G (General Commercial) zone. Sararee Jirattikanchote (Applicant)

4. Coachella General Conditional Use Permit No. 357

Conditional Use Permit No. 357 is a request by Teddy Lee for operation of a Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery at 1258 Sixth Street (APN# 778-110-003)

5. City of Coachella 6th Cycle Housing Element

General Plan Amendment No. 21-02 and Environmental Assessment No. 22-03 for consideration of the City of Coachella 6th Cycle Housing Element

INFORMATIONAL:

ADJOURNMENT:

Complete Agenda Packets are available for public inspection in the
Development Services Department at 53-990 Enterprise Way, Coachella, California, and on the
City's website www.coachella.org.



THIS MEETING IS ACCESSIBLE TO PERSONS WITH DISABILITIES

Council Chambers, Hearing Room
1515 6th Street, Coachella, California
(760) 398-3502 ♦ www.coachella.org

AGENDA

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

16 de Noviembre, 2022
6:00 PM

DE ACUERDO CON EL PROYECTO DE LEY 361 DE LA ASAMBLEA, JUNTO CON LA
DECLARACIÓN DEL ESTADO DE EMERGENCIA DEL GOBERNADOR EMITIDA EL 4 DE MARZO
DE 2020, ESTA REUNIÓN SE PODRÁ REALIZAR POR TELECONFERENCIA.

Si desea asistir a la reunión a través de zoom, aquí está el enlace:

<https://us02web.zoom.us/j/84544257915?pwd=VTdHWitpYVdOUk1NQW8vZ1pqUm0zQT09>

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Los comentarios públicos se pueden recibir por correo electrónico, por teléfono o por zoom con un límite de 250 palabras o tres minutos:

En vivo:

Si participa en vivo a través de zoom o teléfono, durante el período de comentarios públicos, use la función "levantar la mano" en su computadora, o cuando use un teléfono, los participantes pueden levantar la mano presionando *9 en el teclado.

Por escrito:

Los comentarios escritos pueden enviarse a la comisión electrónicamente por correo electrónico a gperez@coachella.org. Se requiere la transmisión antes del inicio de la reunión. Todos los comentarios escritos recibidos serán enviados a la comisión e ingresados en el registro.

SI LO DESEA, PUEDE DEJAR UN MENSAJE EN EL (760) 398-3102, EXTENSIÓN 122, ANTES DE LAS 4:00 P.M. DEL DÍA DE LA REUNIÓN.

LLAMADO AL ORDEN:

JURAMENTO A LA BANDERA:

PASE DE LISTA:

ORDEN DEL DÍA ESPECIAL

APROBACIÓN DE LA AGENDA:

“En este momento, la Comisión puede anunciar cualquier punto que está siendo retirado de la agenda o continuado a otra fecha o solicitar el traslado de un punto de la agenda”.

APROBACION DE LAS ACTAS:

1. Borrador de las Actas de la Comisión de Planificación – 26 de Octubre, 2022.

COMUNICACIONES ESCRITAS:

COMENTARIOS DEL PÚBLICO (PUNTOS QUE NO ESTÁN EN LA AGENDA):

“El público puede dirigirse a la Comisión sobre cualquier tema de interés para el público que no esté en la agenda, pero que esté dentro de la jurisdicción de la materia de la misma. Por favor limite sus comentarios a tres (3) minutos”.

INFORMES Y SOLICITUDES:

PUNTOS QUE NO SON DE AUDIENCIA: HYPERLINK "[appIS133cebbe275746d7b73d3f0ba51beb40](#)"

CALENDARIO DE AUDIENCIAS PÚBLICAS (CUASI-JUDICIAL):

1. [El Permiso de Uso Condicional Núm. 358 y la Revisión Arquitectónica Núm. 15-12 \(Enmienda\) de Reconfiguración del “drive through” del restaurante McDonald's proponen una modificación a la configuración del “drive through” del restaurante McDonald's existente en 50090 Cesar Chavez Street para acomodar filas de vehículos adicionales. Solicitante: Sararee Jirattikanchote. Continuado desde el 2 de noviembre de 2022.](#)
2. [GPA Núm. 21-02 Consideración del Sexto Ciclo del Elemento de Vivienda de la ciudad de Coachella \(Recomendación para continuar\)](#)

3. [Permiso de Uso Condicional Núm. 357, una solicitud de Teddy Lee para la operación de una licencia de Vino y Cerveza Tipo 41 para un salón de vinos y cervezas con tostadería de café en 1258 Sixth Street \(APN# 778-110-003\)](#)

INFORMATIVO:

SE SUSPENDE LA SESIÓN:

[Los paquetes completos de la agenda están disponibles para inspección pública en el Departamento de Servicios de Desarrollo en 53-990 Enterprise Way, Coachella, California, y en el sitio web de la ciudad \[www.coachella.org\]\(http://www.coachella.org\).](#)

ESTA REUNIÓN ES ACCESIBLE PARA PERSONAS CON DISCAPACIDAD



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MINUTES
OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

October 26, 2022
6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

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CALL TO ORDER: 6:06 P.M.

PLEDGE OF ALLEGIANCE:

Frank Figueroa

ROLL CALL:

Commissioners Present: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Chair Virgen.

Commissioners Absent: Commissioner Leal, Vice Chair Navarrete.

Staff Present: *Gabriel Perez, Development Services Director.
*Jason Stevens, Information Technology Manager.

APPROVAL OF AGENDA:

“At this time the Commission may announce any items being pulled from the agenda or continued to another date or request the moving of an item on the agenda.”

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECOND BY COMMISSIONER GONZALEZ TO APPROVE THE AGENDA.

Approved by the following roll call vote:
AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez
Chair Virgen.
NOES: None.
ABSTAIN: None.
ABSENT: Commissioner Leal, Vice Chair Navarrete.

APPROVAL OF THE MINUTES:

1. Draft Planning Commission Minutes – October 5, 2022

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER NAVARRETE TO APPROVE THE MINUTES.

Approved by the following roll call vote:
AYES: Commissioner Gonzalez, Commissioner Figueroa, Chair Virgen.
NOES: None.
ABSTAIN: Alternate Commissioner Gutierrez.
ABSENT: Commissioner Leal, Vice Chair Navarrete

WRITTEN COMMUNICATIONS:

None

PUBLIC COMMENTS (NON-AGENDA ITEMS):

“The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes.”

REPORTS AND REQUESTS:

None.

NON-HEARING ITEMS:

2. Request for a Third 12-Month Time Extension for Architectural Review No. 19-02 to construct a new multi-tenant retail/office center consisting of two commercial buildings for a total of 22,300 sq. ft. on two vacant parcels of land totaling 1.9 acres in the C-G (General Commercial) zone located at the southeast corner of Valley Road and Cesar Chavez Street. (APN 778-280-001 & -002). Juan Carlos Guardado, Applicant.

Gabriel Perez, Development Services Director, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

Public Hearing Opened at 6:16 pm by Chair Virgen

Public Hearing Closed at 6:16 pm by Chair Virgen

IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECONDED BY COMMISSIONER FIGUEROA TO APPROVE THE THIRD AND LAST AVAILABLE 12-MONTH TIME EXTENSION FOR ARCHITECTUAL REVIEW NO. 19-02, MAKING THE NEW EXPIRATION DATE AUGUST 7, 2023.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Chair Virgen.

NOES: None.

ABSTAIN: None.

ABSENT: Commissioner Leal, Vice Chair Navarrete.

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

3. Tripoli Mixed-Use Project (Proposed Revisions)

Amendments to Conditional Use Permit (CUP) 351 and Architectural Review (AR) 22-04 for the PUD (Planned Unit Development) Overlay Zone guidelines, design revisions and modifications to conditions of approval for a mixed-use development consisting of 108 apartment units and 2 retail units on 2.8 acres of vacant C-G (General Commercial) zoned property at the northeast corner of Cesar Chavez Street and Bagdad Avenue (APN# 778-081-003 and -001) Applicant: Chelsea Investment Corporation

Gabriel Perez, Development Services Director, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

Public Hearing Opened at 6:49 pm by Chair Virgen

Colleen Edwards, Chelsea Investment Corporation, made herself available for questions.

Nick Davis, Architect, made himself available for questions.

Public Hearing Closed at 7:51 pm by Chair Virgen

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER GONZALEZ TO ADOPT RESOLUTION NO. PC2022-24 RECOMMENDING THAT THE CITY COUNCIL APPROVE CONDITIONAL USE PERMIT (CUP) 351 AND ARCHITECTURAL REVIEW (AR) 22-04 WITH MODIFICATIONS TO CONDITIONS OF APPROVAL AS FOLLOWS:

General Conditions

8. Add ~~2~~ **1** on-site parking spaces for van pools.
9. The applicant shall ~~work with staff~~ to accommodate an elevator for Building A **and B** if ~~financing for elevator and supporting infrastructure can be identified and incorporated within the development timeframe for the project.~~
11. The applicant or successor in interest shall install "purple pipe" for a future tertiary water distribution system that would serve the irrigation needs of all common areas of the project including perimeter landscaping, entry features and median island planters, and retention basins, subject to review and approval by the City Engineer. ~~The "purple pipe" water lines shall be installed along the entire Avenue 48 street frontage according to City standards.~~
14. ~~All plans, as shown, are considered "conceptual," subject to revisions as called out by the conditions of this resolution. The plans shall not be stamp approved until all conditions requesting revisions have been satisfied during the building plan check process. Any substantial changes to the plans, including changes shown on future building permit plans deemed by Staff to not be within substantial conformance with this approval, will require an amendment to the approval of Architectural Review No. 21-04, including architectural features, materials, and site layout.~~

Architectural Design, Character and Massing

15. All first floor dwelling units **facing the public streets** shall have a ~~front door~~ **rear patio gate** accessible from the Bagdad Avenue, Tripoli Street and Cesar Chavez Street sidewalk areas, with a fenced and patio enclosure ~~adjacent to the sidewalk.~~
17. Retail ceiling height ~~shall be approximately 15~~ **may be 9'-1"** feet consistent with Pueblo Viejo Revitalization Plan Guidelines.
18. ~~First floor residential level shall be 3 feet above sidewalk level for privacy consistent with the Pueblo Viejo Revitalization Plan Guidelines.~~

19. Utilize two piece clay tile roofing with booster tiles on the edges and random mortar packing. The mortar shall packed on 100 percent of the tiles in the first two rows of tiles and along any rake and ridgeline, and packed on 25 percent of the tiles on the remaining field. Mortar packing shall serve as a bird stop at roof edges, The volume of mortar pack to achieve the appropriate thickness shall be equivalent to a 6 inch diameter sphere of mortar applied to reach tile. **If the aforementioned roof treatment consistent with Spanish Colonial Revival is demonstrated to be infeasible for the development, the applicant shall propose roofing provides the appearance of Spanish Colonial Revival architecture as demonstrated with boosted roof tiles and mortar packing at roof edges, roof ridges and at boosted tiles to the satisfaction of the Development Services Director.** Applicant may use blended concrete tile for the appearance of Spanish Colonial Revival architecture.

20. Stucco walls shall ~~may~~ consist of a 60/40 sand 'steel, hand trowel', smooth Mission finish and slight undulations (applied during brown coat) and bull-nose corners and edges.

Public Realm/Streetscape

24. The sidewalks along Cesar Chavez Street shall be expanded to provide access **and seating** into the ground floor ~~units~~ **commercial spaces** with an urban character, and reduced perimeter planter areas, **including** adjacent to the building edge. **Residential units shall provide a new access to the existing sidewalk.**

25. ~~Planters with tree grates shall be installed every 17-25 feet and planted with shade trees adjacent to the Cesar Chavez Street to create a separation between the street and pedestrian traffic to the satisfaction of the City Engineer and Development Services Director.~~

45. ~~Provide and record a reciprocal use and maintenance agreement to assure common ingress and egress and joint maintenance of all common access, parking areas and drives.~~

~~52. Provide a set of proposed Covenants, Conditions and Restrictions (CC&R) for review and approval. The proposed CC&Rs shall contain the Association's/Owner's maintenance obligations with respect to various facilities including, but not limited to, right-of-way and private landscaping, private streets, sidewalks, utilities, street lights, and Water Quality Management Plan (WQMP) features. The City of Coachella shall be listed as an express third party beneficiary and be reviewed and approved by the City Attorney's office prior to recordation. This document must be submitted to and approved by the City before it is submitted to any other governmental entity.~~

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Chair Virgen.

NOES: None.

ABSTAIN: None.

ABSENT: Commissioner Leal, Vice Chair Navarrete.

INFORMATIONAL:

ADJOURNMENT: 7:25 P.M.

Respectfully Submitted by,

Gabriel Perez
Planning Commission Secretary

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Development Services Department at 53-990 Enterprise Way, Coachella, California, and on the
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MINUTES

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

November 2, 2022
6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

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CALL TO ORDER: 6:01 P.M.

PLEDGE OF ALLEGIANCE:

Vice Chair Navarrete

ROLL CALL:

Commissioners Present: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Vice Chair Navarrete.

Commissioner Figueroa participated at the start of the meeting via Zoom and joined the meeting in-person at 6:03 P.M.

Commissioners Absent: Commissioner Leal, Chair Virgen.

Staff Present: *Gabriel Perez, Development Services Director.
*Jesus Medina, Information Technology Tech.

APPROVAL OF AGENDA:

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IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECOND BY VICE CHAIR NAVARRETTE TO APPROVE THE AGENDA.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Alternate Commissioner Gutierrez, Commissioner Figueroa, Vice Chair Navarrete.

NOES: None.

ABSTAIN: Commissioner Leal.

ABSENT: Chair Virgen.

APPROVAL OF THE MINUTES:

Draft Planning Commission Minutes – None.

WRITTEN COMMUNICATIONS:

None.

PUBLIC COMMENTS (NON-AGENDA ITEMS):

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REPORTS AND REQUESTS:

None.

NON-HEARING ITEMS:

None.

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

1. Church of the Americas Conditional Use Permit 356 to allow a Church in an existing 2,760 sq. ft. commercial building on a 0.17- acre property at 51678 Cesar Chavez Street (APN 778-131-004).

Eva Lara, Planning Technician, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

Public Hearing Opened at 6:20 pm by Vice Chair Navarrete.

Werclein Aguilar, Applicant made himself available for questions.

Public Hearing Closed at 6:23 pm by Vice Chair Navarrete.

IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECONDED BY COMMISSIONER FIGUEROA TO ADOPT RESOLUTION NO. PC 2022-25 APPROVING CONDITIONAL USE PERMIT NO. 356 WITH THE FINDINGS AND CONDITIONS OF APPROVAL. COMMISSIONER FIGUEROA MOVED TO AMEND COMMISSIONER GONZALEZ’S MOTION AND WAS SECONDED BY ALTERNATE COMMISSIONER GUTIERREZ TO INCLUDE THE FOLLOWING MODIFICATIONS TO THE CONDITIONS OF APPROVAL:

1. Approval of Conditional Use Permit 356 shall be for the purpose of a maximum 2,760 square feet within the existing building located at 51678 Cesar Chavez Street. Any expansion in the floor area dedicated to the congregating area or increase in the size of the congregation beyond 15 people will require review and approval by the ~~Planning Commission~~ *Development Service Director*.
11. **Prior to occupancy, parking lighting is required and shall be installed to ensure safety to the satisfaction of the Development Service Director. The applicant has six (6) months after CUP issuance to install appropriate parking lighting.**

Both the amended motion and the motion of approval of the project was approved by the following roll call vote:
AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Commissioner Leal, Vice Chair Navarrete.

NOES: None.

ABSTAIN: None.

ABSENT: Chair Virgen.

2. McDonald's Restaurant Drive Through Reconfiguration (Continuance Requested) Conditional Use Permit No. 358 and Amendment to Architectural Review No. 15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G (General Commercial) zone. Sararee Jirattikanchote (Applicant).

Gabriel Perez, Development Services Director, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER GONZALEZ TO APPROVE THE CONTINUATION OF ITEM NUMBER TWO (2) FOR THE NEXT PLANNING COMMISSION MEETING ON NOVEMBER 16, 2022.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Commissioner Leal, Alternate Commissioner Gutierrez, Vice Chair Navarrete.

NOES: None.

ABSTAIN: None.

ABSENT: Chair Virgen.

Public Hearing Opened at 6:38 pm by Vice Chair Navarrete.

Public Hearing Closed at 6:38 pm by Vice Chair Navarrete.

INFORMATIONAL:

- KPC master plan community submitted an application proposed at the Northeast end of the city for a 2,800-acre mixed-use specific plan.
- Tripoli Mix-Use Project will go to Council meeting next week and Planning Commission's recommendation will be presented to them.
- We are reviewing proposal for Architects that submitted for the Request for Proposal for pre-approved accessory dwelling unit plans.
- Report on reconsideration request by the City of Coachella to LAFCO.
- 112 single-family lot subdivision was submitted this week for 19 acres on Van Buren St. South of Coral Mountain Academy.
- Aldi supermarket project under construction.
- The Coachella Fire House Bar and Grill to open during the week.

ADJOURNMENT: 6:49 P.M.

Respectfully Submitted by,

Gabriel Perez
Planning Commission Secretary

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STAFF REPORT
11/16/2022

TO: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: McDonald's Restaurant Drive Through Reconfiguration

SPECIFICS: Conditional Use Permit No. 358 and Amendment to Architectural Review No. 15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G (General Commercial) zone. Sararee Jirattikanchote (Applicant)

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. PC 2022-26 approving Conditional Use Permit (CUP) No. 358 and amendment to Architectural Review No. 15-12 at the McDonald's restaurant located at 50090 Cesar Chavez Street pursuant to the findings and conditions of approval contained in the attached resolution.

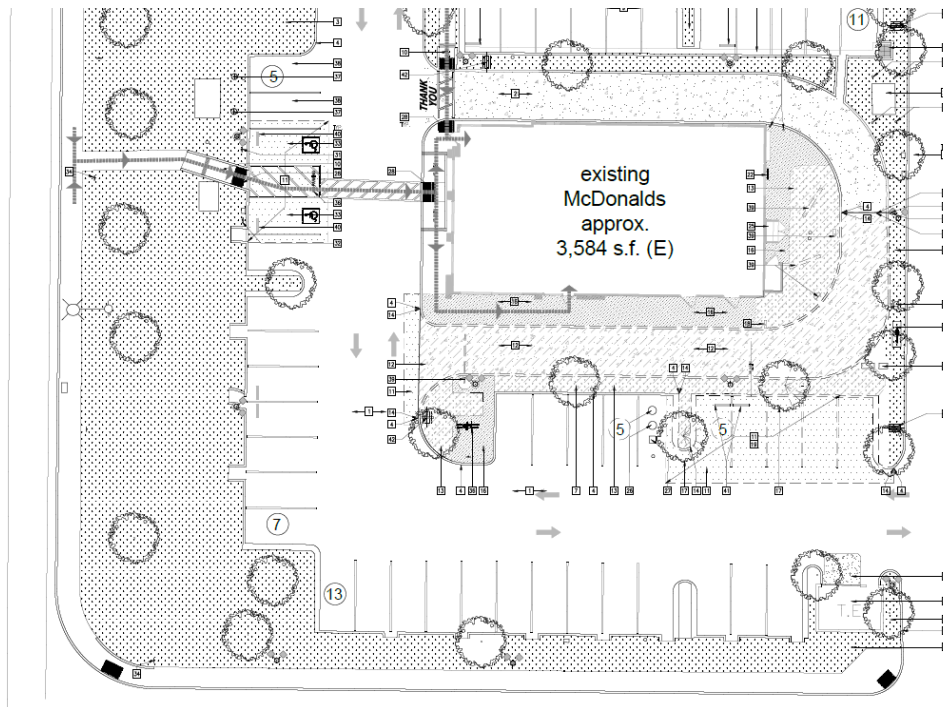
BACKGROUND:

The existing 3,584 sq. ft. McDonald's Restaurant currently operates with a drive-thru located on one 0.83-acre parcel of land that is part of a larger commercial center, Fountainhead Plaza, within the C-G (General Commercial) Zone. The restaurant was first approved with a drive-thru lane in the shape of a horseshoe looping around the building by the Planning Commission on May 7, 2008. On December 16, 2015, the Planning Commission considered and approved Architectural Review No. 15-12 for a dual drive through lane that eliminated the horseshoe shape where customers can place their orders in two vehicles at a time, which was intended to improve vehicle circulation and service for McDonald's customers. The existing drive through configuration accommodates the existing outdoor dining patio on the south side of the building and replaces portion of the original drive-thru lane.

Staff observed that the drive through reconfiguration has resulted in negative impacts to circulation within the commercial center, where queuing vehicles were seen queuing beyond the dual drive through lanes and into the main commercial center drive aisle. Conflicts were observed between vehicles attempting to queue into the drive through from the main commercial center drive aisle and the drive aisle within the existing McDonald's restaurant pad. Chapter 17.26 (C-G General Commercial Zone) of the Coachella Municipal Code requires a Conditional Use Permit for all fast food establishments. The photo below shows an interim measure the owner has taken to help control the flow of vehicles queuing into the drive through lane and avoid traffic conflicts within

the commercial center. A permanent solution for the drive through is necessary to improve aesthetics and to make project findings that it can be operated and maintained to be compatible with the intended character of the general vicinity and not have a harmful effect upon desirable neighborhood character.

Figure 1: Original McDonald's Restaurant drive through configuration



DISCUSSION/ANALYSIS:

Environmental Setting:

The applicant, Sararee Jirattikanchote, submitted a request for a CUP to reconfigure the existing McDonald's restaurant drive through to improve vehicle circulation at the McDonald's restaurant and within the Fountainhead Plaza commercial center. The zoning designation of the commercial center is C-G (General Commercial). The existing commercial center consists of a Walgreens Pharmacy, a McDonald's Restaurant, Taco Bell Restaurant, and a newly constructed Starbucks. Aldi supermarket is under construction within the center. On-site circulation will be improved by extending the length of the drive through lane to accommodate more queuing vehicles while still accommodating dual drive through for ordering. The applicant does not propose to modify the drive through lane to the original configuration, which would require the elimination of the outdoor dining area.

Surrounding land uses and zoning classifications include the following:

North: Existing Walgreens Pharmacy and Taco Bell (C-G, General Commercial).

- South: Starbucks (C-G, General Commercial).*
- East: Vacant commercial land and non-conforming industrial uses (C-G, General Commercial).*
- West: Existing commercial development across Cesar Chavez Street (C-G, General Commercial).*

Circulation and Parking:

Access to the site is provided by five existing driveways, three from Cesar Chavez Street, one from Leoco lane, and another from First Street. The applicant proposes to begin a singular drive through lane along the southerly portion of the McDonald’s pad, which turns northerly and opens into two dual drive through lanes for ordering purposes. The new drive through configuration would accommodate up to 15 vehicles. The extended drive through lane is proposed to be bordered top the north by striped delineators rather than a raised curb with landscaping. The new drive through lane would close existing access to vehicles in the main commercial center drive aisle and instead require them to circulate to the McDonald’s pad from the more northerly access drive aisle. Two points of vehicular access are required and therefore a new exiting access point is proposed at a southerly point at the McDonald’s pad, which exits into the main drive aisle to exit onto Cesar Chavez Street.

The McDonald’s pad currently provides for 41 parking spaces, which is above the minimum requirement of 24 parking spaces or a surplus of 17 parking spaces. The applicant proposes to remove 15 parking spaces in total, which includes removal of 13 southerly parking spaces to accommodate the expanded drive through lane and removal of two parking spaces north of the McDonald’s building to accommodate the relocated trash enclosure. The removal of the 15 parking spaces would result in a surplus of two on-site parking spaces. A reciprocal access agreement exists between McDonald’s and Taco Bell and therefore parking impacts are not anticipated with the proposed drive through reconfiguration. The proposed project is conditioned to prepare and submit plans to the Riverside County Fire Department for approval of a site plan designating required fire lanes with appropriate lane painting and/or signs due to the minor on-site circulation result.

Figure 2: Existing drive through configuration

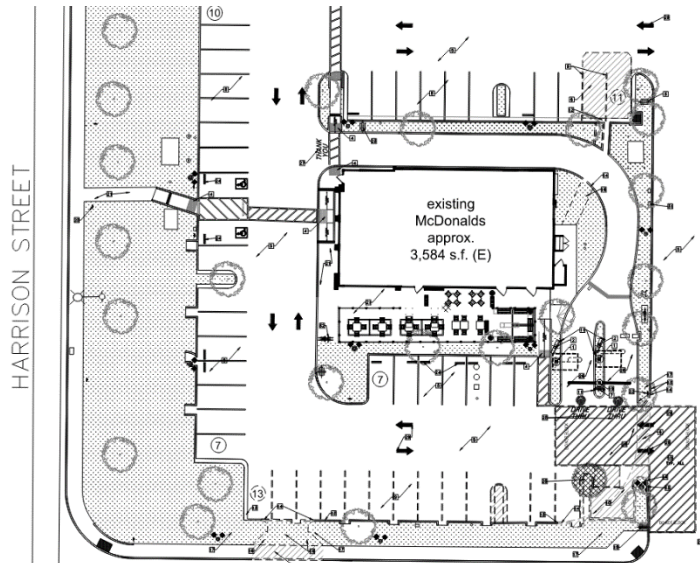
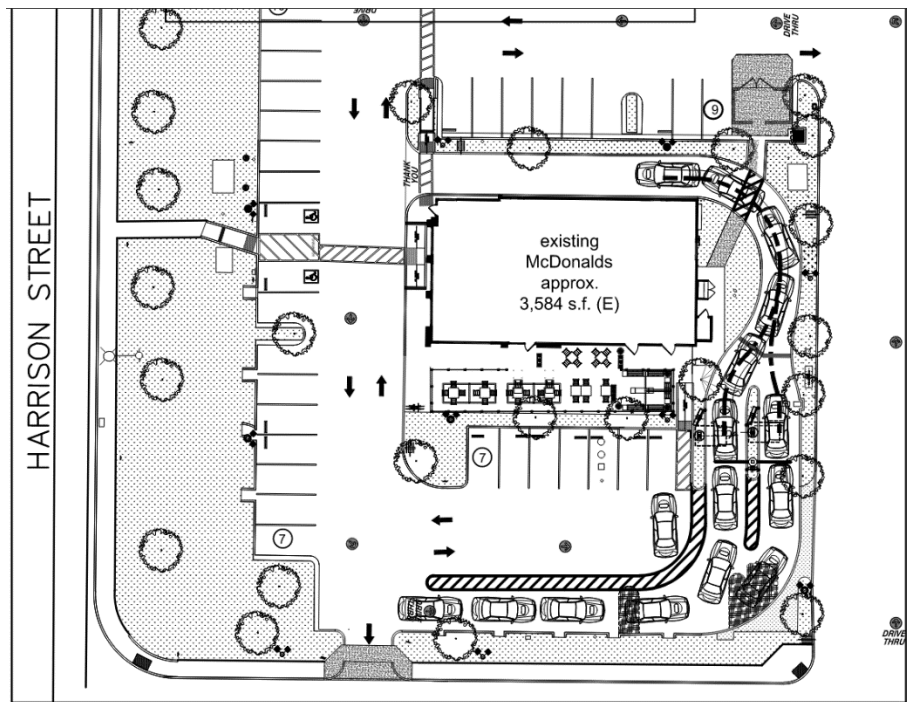


Figure 3: Proposed drive through configuration



Landscaping

The existing landscape area maintenance responsibilities for the McDonald’s restaurant pad belong to McDonald’s restaurant ownership and not Fountainhead Development. Staff observed that the existing landscaping consisting of groundcover, shrubs, and trees are not well maintained and shrubs and trees were observed to be missing. Staff also observed that the landscape irrigation is not properly maintained as flooding was observed in portions of the landscape areas. Landscape areas would be expanded with the new drive through configuration but no landscape plan has been presented at this time. A condition of approval has been added to the approving resolution to require submittal of a final landscape plan, that existing landscaping be refreshed, and that the owned enter into a landscape maintenance agreement with the City to ensure landscape areas are maintained in a first class condition and that debris is regularly removed.

ENVIRONMENTAL REVIEW:

The City of Coachella has determined that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a “Replacement or Reconstruction” project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

CONCLUSIONS AND RECOMMENDATIONS

Based on the analysis contained herein and the findings listed below, staff is recommending that the Planning Commission approve Conditional Use Permit No. 358 and amendment to

Architectural Review No. 15-12 with the findings and conditions listed in Resolution No. PC 2022-26, and in the attached resolution. Additional alternatives are listed below for the Planning Commission.

ALTERNATIVES:

- 1) Adopt Resolution No. PC 2022-26 recommending that the City Council approve CUP 358 and Architectural Review No. 15-12 with the findings and conditions as recommended by Staff.
- 2) Deny Resolution No. PC 2022-26 and maintain existing drive through condition.
- 3) Continue this item and provide staff and the applicant with direction.

RECOMMENDED ALTERNATIVE(S):

Staff recommends alternative #1.

Attachments:

1. Resolution No. PC 2022-26
Exhibit A Conditions of Approval
2. Vicinity Map
3. Proposed Site Plan
4. Landscape Plan (2015) for AR No. 15-12
5. Existing Conditions Photos

RESOLUTION NO. PC 2022-26

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COACHELLA, CALIFORNIA APPROVING CONDITIONAL USE PERMIT NO. 358 AND AMENDMENT TO ARCHITECTURAL REVIEW NO. 15-12 FOR A MODIFICATION TO THE EXISTING MCDONALD'S RESTAURANT DRIVE THROUGH TO ACCOMMODATE ADDITIONAL VEHICLE QUEUING LOCATED ON .83 ACRES AT 50090 CESAR CHAVEZ STREET, SARAREE JIRATTIKANCHOTE, APPLICANT.

WHEREAS, Sararee Jirattikanchote filed an application for Conditional Use Permit No. 358 (CUP 358) and amendment to Architectural Review (AR) No. 15-12 to reconfigure an existing McDonald's restaurant drive through in an existing commercial center located at 50090 Cesar Chavez Street; and,

WHEREAS, the Planning Commission conducted a duly noticed public hearing on CUP No. 358 and AR No. 15-12 on November 2, 2022 at the City of Coachella City Hall Council Chambers, 1515 Sixth Street, Coachella, California regarding the proposed Project; and,

WHEREAS, at the Planning Commission hearing, the Applicant and members of the public were present and were afforded an opportunity to testify regarding the Project; and,

WHEREAS, the Project is permitted pursuant to Chapter 17.74 (Conditional Uses) of the Coachella Municipal Code.

WHEREAS, the proposed use is necessary or desirable for the development of the community, is consistent with the objectives of the City's General Plan, and is not detrimental to the existing uses or the uses specifically permitted in the zone in which the proposed use is to be located; and,

WHEREAS, the proposed site is adequate in size and shape to accommodate the proposed restaurant traffic and parking; and,

WHEREAS, the site for proposed use relates properly to streets which are designed to carry the type and quantity of traffic to be generated by the proposed use; and,

WHEREAS, The City of Coachella has determined that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a "Replacement or Reconstruction" project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.; and,

WHEREAS, the conditions as stipulated by the City are necessary to protect the

public health, safety and welfare of the community.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Coachella, California does hereby approve Conditional Use Permit No. 358, subject to the findings and conditions of approval listed below.

Section 1. Incorporation of Recitals

The Planning Commission hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Planning Commission as fully set forth in this resolution.

Section 2. CEQA Findings

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a “Replacement or Reconstruction” project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

Section 4. Conditional Use Permit Findings

With respect to Conditional Use Permit No. 358, the Planning Commission finds as follows for the proposed freestanding sign request:

1. The proposed use will not be in conflict with, but will be in harmony with and in accordance with the objectives of the general plan except as recognized that the project has vested rights as to the existing drive-thru lane for the restaurants as it was approved prior to the new General Plan being adopted. The site has a General Commercial (C-G) land use designation that allows for quick-serve restaurants with a drive-thru subject to Conditional Use Permit approval which is the underlying entitlement for the existing McDonald’s Restaurant.
2. The proposed use will be located, designed, constructed, operated and maintained so as to be compatible with the existing character of the general vicinity and shall not change the essential character of the same area because the proposed use is within a zoning designation of ‘C-G’ (General Commercial) which permits restaurant uses. The proposed use in an existing commercial shopping center and has operated as a restaurant for several years with adjoining commercial uses. The conditional use permit can be revoked if any of the conditions of approval are violated.
3. Consideration has been given to harmony in scale, bulk, coverage and density, to the

availability of public facilities and utilities, to harmful effect, if any, upon desirable neighborhood character, to the generation of traffic and the capacity of surrounding streets, and to any other relevant impact of development, because the existing commercial tenant space is within an existing commercial building with all infrastructure available on-site for the existing restaurant. Due to the location within an existing shopping center parking is existing within the center and the subject pad has been occupied by the existing restaurant building. The proposed drive through reconfiguration would remove 15 parking spaces but would result in a parking surplus of two spaces pursuant to the Coachella Municipal Code Parking Ordinance. Traffic impacts were evaluated in relation to the environmental review of the existing shopping center upon original approval.

4. Where the proposed use may be potentially hazardous or disturbing to existing or reasonably expected neighboring uses, it must be justified by the common public interest as a benefit to the community as a whole. As conditioned, the proposed use will:
 - Provide for drive through fast food establishment sales with a drive through configuration that will avoid traffic back-ups and conflicts.
 - The owner is responsible for making site modifications if there are observed problems with the new drive through configuration.
 - Landscape areas will be rehabilitated to comply with Zoning Ordinance requirements and a landscape agreement will be entered into with the City of Coachella to ensure landscape maintenance occurs in a first class condition.
5. The proposed use provides vehicular approaches to the property designed for reasonable minimal interference with traffic on surrounding public streets or roads. Vehicular approaches already exist within the shopping center from Cesar Chavez, First Street and Oates Lane and are sufficient to serve the subject building pad and restaurant use.
6. Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a “Replacement or Reconstruction” project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

Section 4. Architectural Review Findings.

With respect to the amendment to Architectural Review No. 15-12, the Planning Commission finds as follows for the proposed freestanding sign request:

1. Compatibility with neighboring property. The existing condition of the McDonald’s drive through results in negative traffic impacts to neighboring properties and the interim modification has resulted in negative aesthetics for the commercial center. The proposed drive through reconfiguration would result in positive traffic impacts

to neighboring properties

2. The Zoning Ordinance development standards allows for drive through establishments with the approval of a conditional use permit.
3. The proposed sign would not impact traffic congestion as the proposed drive through configuration would accommodate queuing vehicles and prevent vehicle back-ups that may affect circulation within the commercial center and public streets.
4. That approval of the Architectural Review No. 15-12 will not adversely effect any element of the general plan as the general plan does no prescribe sign standards or appearance.

Section 5. Planning Commission Approval;

Based on the foregoing recitals and findings above, and the written and oral comments, facts and evidence presented, the City of Coachella Planning Commission approves Conditional Use Permit No. 358 and Architectural Review No. 15-12 project subject to and amended by conditions of approval in “Exhibit A.”

PASSED APPROVED and ADOPTED this 16th day of November 2022 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Stephanie Virgen
 Planning Commission Chairperson

ATTEST:

Gabriel Perez
 Planning Commission Secretary

APPROVED AS TO FORM:

Carlos Campos
City Attorney

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF COACHELLA)

I HEREBY CERTIFY that the foregoing Resolution No. PC2022-26 was duly adopted by the Planning Commission of the City of Coachella at a regular meeting thereof, held on this 16th day of November 2022 by the following vote of the Planning Commission:

AYES:

NOES:

ABSENT:

ABSTAIN:

Gabriel Perez
Planning Commission Secretary

Exhibit A - Resolution No. PC2022-26
CONDITIONS OF APPROVAL
CONDITIONAL USE PERMIT 358 AND AMENDMENT TO ARCHITECTURAL
REVIEW NO. 15-12

General Conditions

1. The conditional use permit and architectural review shall expire and shall become void one year following the date on which the conditional use became effective, unless prior to the expiration of one year a building permit is issued and construction is commenced and diligently pursued toward completion, or a certificate of occupancy is issued. Violation of any of the conditions of approval shall be cause for revocation of the Conditional Use Permit and Architectural Review.
2. The applicant shall defend, indemnify and hold harmless the City of Coachella, its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City, its officials, officers, employees or agents to attack, set aside, void or annul any project approval or condition of approval of the city concerning this project, including but not limited to any approval or condition of approval or mitigation measure imposed by the City Council or Planning Commission. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees and agents in the defense of the City Attorney, within five days of the effective date of this approval.
3. Within five business days of project approval, the applicant shall submit to the Planning Division a check made payable to the County of Riverside in the amount of \$50 for filing the CEQA Notice.
4. The construction shall be in conformance with the plans submitted and conditions imposed herein for Conditional Use Permit. This shall include the materials and colors as shown on the approved plans.
5. The project shall comply with all applicable codes, laws and regulations, regardless of whether they are listed in these conditions. This includes conformance with the requirements of the adopted California Building Codes and related ordinances, including all requirements of the South Coast Air Quality Management District, the Riverside County Fire Department and any requirements by any other agency having jurisdiction on the project.
6. If determined by the City Engineer that the new drive through configuration under Conditional Use Permit No. 358 results in a negative traffic impact within the commercial center, the applicant/owner shall be responsible to make temporary adjustment or construct permanent site modifications as deemed necessary by the City Engineer to ensure that the

Conditional Use Permit findings can be made that avoid a harmful effect on the neighboring uses and to vehicular traffic within the commercial center and an public streets.

Project Design:

7. Prior to the issuance of building permits, all exterior architectural features and treatments shall be consistent with the submitted Architectural Review No. 15-12.
8. Applicant shall use BMPs to prevent construction waste from entering storm and sewer system.
9. Prepare and submit plans to the Riverside County Fire Department for approval of a site plan designating required fire lanes with appropriate lane painting and/or signs due to the minor on-site circulation result.

Landscaping

10. Final landscaping and irrigation plans shall be submitted to the Development Services Department for review and approval to include new landscape areas. Said plans shall conform to the landscaping plan submitted as part of the subject Architectural Review, and as conditioned herein.
11. Landscaping and irrigation shall be provided in accordance with Section 17.54.010(J) of the Municipal Code and in accordance with the State Model Water Efficient Landscape Ordinance (AB 1881). Water budget calculations, including the Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU) shall be provided as part of the landscaping and irrigation plan.
12. Any damaged, dead or decayed landscaping landscape areas shall be replaced per approved landscape plans upon landscape inspection by the Development Services Department and prior to issuance of a certificate of occupancy.
13. Add ¾ inch decorative gravel for all landscape areas once covered with decomposed granite to match common area landscaping along southerly portion of the Fountainhead Plaza. Existing decomposed granite areas are in deteriorated condition.
14. The site landscaping shall be maintained in good condition at all times, and the owner or operator of the facility shall be responsible for replacing any damaged, dead or decayed landscaping as soon as practicable, and in accordance with the approved landscape plan.
15. The owner shall enter into a landscape and site maintenance agreement to include private landscaping, private streets, sidewalks and street lights. This document must be submitted to and approved by the City before issuance of permits related to the reconfigured drive through. The agreement shall be reviewed and approved by the City Attorney's office prior to recordation.

16. A small landscape strip with curbing shall be installed adjacent to the trash enclosure to buffer the parking stall to avoid conflicts with opening doors and to accommodate landscape vines.

PRIOR TO APPROVAL OF ENGINEERING PLANS or ISSUANCE OF ENGINEERING PERMITS:

ENGINEERING GRADING AND DRAINAGE:

17. A precise grading/improvement plan, prepared by a California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. A final soils report, compaction report and rough grading certificate shall be submitted and approved prior to issuance of any building permits.
18. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
19. Applicant shall obtain approval of site access and circulation from Fire Marshall.
20. Applicant shall provide public utilities easement for existing drain lines.

PAVEMENT IMPROVEMENTS:

21. Applicant shall construct all off-site and on-site improvements including street pavement, curb, gutter, sidewalk, street trees, perimeter walls, perimeter landscaping and irrigation, storm drain, street lights, and any other incidental works necessary to complete the improvements. Driveways and drive aisles shall conform to City of Coachella standards for commercial driveways with a minimum width of 24.00 for two way traffic and a minimum of 14 feet for one way traffic with curbed radius entrances/exits.
22. Applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.

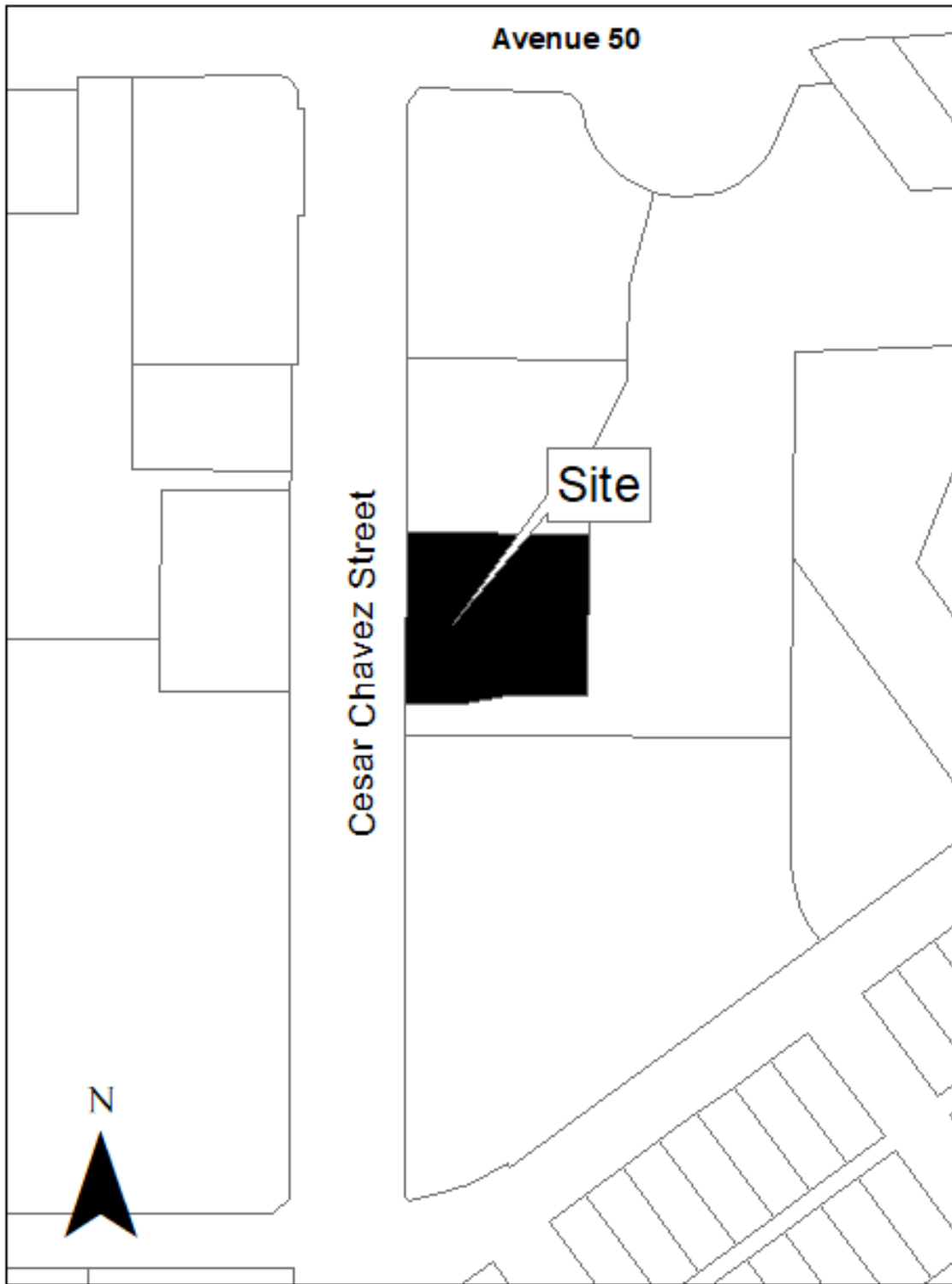
GENERAL:

23. The applicant shall pay all necessary plan check, permit and inspection fees. Fees will be determined when plans are submitted to the City Engineering Department for plan check.
24. Applicant shall repair any damage sidewalk along Harrison Street.

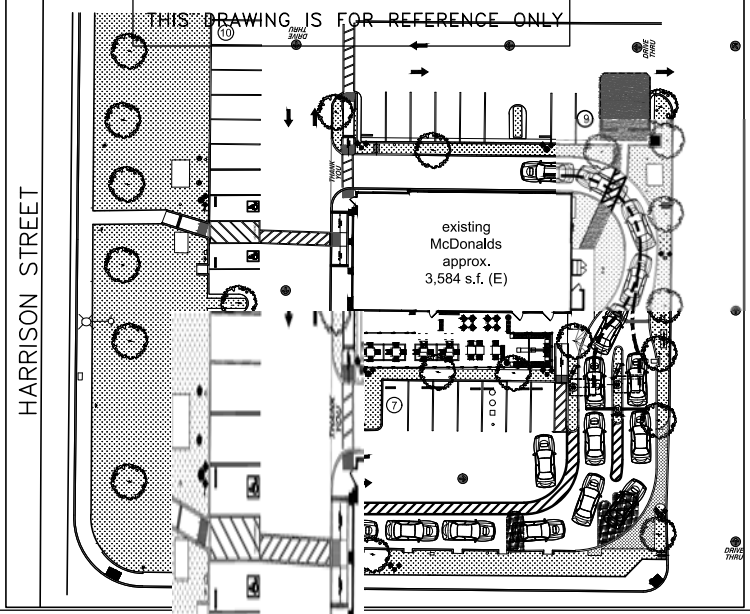
COMPLETION:

25. "As-built" plans shall be submitted to and approved by the City Engineer. Prior to acceptance of the improvements by the City, such plans, once approved, shall be given to the city on compact disk in AutoCad format. All off-site and on-site improvements shall be completed

to the satisfaction of the City Engineer prior to acceptance of improvements for maintenance by the City.



Vicinity Map



McDONALD'S USA, LLC

JOB SITE:

STATE SITE CODE: 004-4568
 STREET ADDRESS: 50090 HARRISON ST., COACHELLA 92236
 COUNTY: RIVERSIDE
 STATE: CALIFORNIA

STRUCTURE:

WOOD OR CMU LOAD BEARING WALLS, WOOD ROOF FRAMING

BUILDING CODE:

BUILDING CODE EDITION: 2019 CALIFORNIA BUILDING CODE
 MECHANICAL CODE EDITION: 2019 CALIFORNIA MECHANICAL CODE
 ELECTRICAL CODE EDITION: 2019 CALIFORNIA ELECTRICAL CODE
 PLUMBING CODE EDITION: 2019 CALIFORNIA PLUMBING CODE
 ADDITIONAL CODE EDITION: 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE

BUILDING DATA:

OCCUPANCY: A-2
 CONSTRUCTION TYPE: VB (NON-SPRINKLERED)
 NUMBER OF STORIES: 1
 EXISTING BUILDING HEIGHT: 18'-9 1/2" (MAIN PARAPET)
 23'-4" (HEARTH)
 EXISTING BUILDING AREA: 3,584 SF. GROSS, 2,942 SF. NET

DESIGN LOADS:

GROUND SNOW LOAD: 0
 WIND LOAD: BASIC WIND SPEED = 110 MPH
 WIND EXPOSURE = C

SEISMIC DESIGN CATEGORY:

D
 SOILS BEARING CAPACITY: 1500 PSF

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING:	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO
EXIT SIGNS:	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO
FIRE ALARM AND SMOKE DETECTION SYSTEM:	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO
PANIC HARDWARE:	<input checked="" type="checkbox"/>	YES	<input type="checkbox"/>	NO
FIRE SPRINKLERS:	<input type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO

PARKING ANALYSIS:

EXISTING PARKING SPACES: 48 SPACES
 PROPOSED PARKING SPACES: 33 SPACES (15 SPACES REMOVED)
 ACCESSIBLE PARKING SPACES REQUIRED: 2 SPACES
 ACCESSIBLE PARKING SPACES PROVIDED: 2 SPACES (1 VAN)

PARKING TABULATION:

CUSTOMER AREA: 920 SF = 21 SPACES
 REMAINING OCCUPIED AREA: 2,022 SF = 11 SPACES
 REQUIRED PARKING: 32 SPACES

CONSULTANTS:

ARCHITECT:	DESIGN UA	153 E CITY PLACE DRIVE SANTA ANA CA 92705
		FRANCIS ONG LICENSED ARCHITECT: #C18585
		TEL: (714) 892-3900
CIVIL:	TOP ENGINEERING	153 E CITY PLACE DRIVE SANTA ANA CA 92705
		LY PHAM LICENSED CIVIL ENGINEER: #C63381
		TEL: (714) 487-7037

CONSTRUCTION PROJECT MANAGER:

CHRIS STAMPS 18565 JAMBOREE RD., SUITE 850 IRVINE CA. 92612

ALLOWABLE AREA CALC:

PER 2019 CALIFORNIA BUILDING CODE
 BASIC ALLOWABLE AREA FOR GROUP A-2, TYPE VB CONSTRUCTION (PER TABLE 503)= 6,000 SF.
 ACTUAL AREA AREA =3,584 SF.

REVISIONS

REV	DATE	DISC

DRAWING INDEX

CV1.0	COVER SHEET
CV1.1	GENERAL NOTES
CV1.2	ADA NOTES
CIVIL	
C1	(E) SITE PLAN PLAN
C2	PROPOSED SITE PLAN
ARCHITECTURAL	
DO.1	DEMOLITION SITE PLAN
A0.1	SITE PLAN
A0.3	SITE DETAILS
A0.5	TRASH ENCLOSURE AND DETAILS
LANDSCAPE	
L1	NEW LANDSCAPE AREA PLAN
L2	NEW IRRIGATION AREA PLAN

SYMBOL LEGEND:

- XX ROOM NAME
- XX ROOM NUMBER
- WALL TYPE REFER TO
- WINDOW/REFERENCE
- REVISION NUMBER
- DOOR/REFERENCE REFER TO DOOR SCHEDULE ON A6.0
- DETAIL REFERENCE TOP # = DETAIL # BOTTOM # = SHEET #
- SECTION REFERENCE TOP # = DETAIL # BOTTOM # = SHEET #
- INTERIOR ELEVATION REFERENCE TOP # = DETAIL # BOTTOM # = SHEET # PERIMETER # = INTERIOR ELEV. #
- KEY NOTE

ABBREVIATIONS

- | | | | |
|----------|--|---------|--------------------------------|
| A.C. | ASPHALT CONCRETE | MAX. | MAXIMUM |
| A.C.T. | ACOUSTICAL CEILING TILE ABOVE FINISH FLOOR | MFR. | MANUFACTURER |
| A.F.F. | | MECH. | MECHANICAL |
| BD. | BOARD | MIN. | MINIMUM |
| BLDG. | BUILDING | M.O. | MASONRY OPENING |
| BM | BEAM | MTD. | MOUNTED |
| B/- | BOTTOM OF | MTL. | METAL |
| | | (N) | NEW |
| CARP. | CARPENTRY | N.A. | NOT APPLICABLE |
| C.B.C. | CALIFORNIA BUILDING CODE | N.A.P. | NOT A PART |
| | | N.I.C. | NOT IN CONTRACT |
| C.C. | CENTER TO CENTER | N.T.S. | NOT TO SCALE |
| C.G. | CORNER GUARD | O.C. | ON CENTER |
| C.I. | CAST IRON | O.D. | OUTSIDE DIAMETER |
| C.J. | CONTROL JOINT | O.F.D. | OVER FLOW DRAIN |
| CLG. | CEILING | O.H. | OVER HEAD |
| CLR. | CLEAR | OSP | OUT OF SEQUENCE PARKING |
| C.M.U. | CONCRETE MASONRY UNIT | Q/- | OVER |
| COL. | COLUMN | | |
| CONC. | CONCRETE | PART. | PARTITION |
| C.T. | CERAMIC TILE | PL. | PLATE |
| C.W. | COLD WATER | PROP. | PROPERTY |
| | | P-LAM. | PLASTIC LAMINATE |
| | | PLYWD. | PLYWOOD |
| | | PT. | PAINT |
| | | PR. | PAIR |
| | | P.O.C. | POINT OF CONNECTION |
| | | P.S.F. | POUNDS PER SQUARE FOOT |
| | | P.S.I. | POUNDS PER SQUARE INCH |
| | | QTY. | QUANTITY |
| E.J. | EXPANSION JOINT | R. | RISER |
| ELEC. | ELECTRIC(AL) | RAD. | RADIUS |
| ELEV. | ELEVATION | R.C.P. | REFLECTED CEILING PLAN |
| EQ. | EQUAL | R.D. | ROOF DRAIN |
| EQUIP. | EQUIPMENT | REF. | REFERENCE |
| (E) | EXISTING | R.I. | ROUGH IN |
| EXT. | EXTERIOR | R.O. | ROUGH OPENING |
| | | RM. | ROOM |
| F.D. | FLOOR DRAIN | SSBB | SELF SERVICE BEVERAGE BAR |
| F.E. | FIRE EXTINGUISHER | SCHED. | SCHEDULE |
| F.E.C. | FIRE EXTINGUISHER CABINET | SHT. | SHEET |
| FIKT. | FIXTURE | SIM. | SIMILAR |
| F.G. | FINISH GRADE | SPEC. | SPECIFICATION |
| F.O.M. | FACE OF MASONRY | SQ. | SQUARE |
| F.O.S. | FACE OF STUD | S.S. | STAINLESS STEEL |
| F.P. | FIRE PROOF | S.T.C. | SOUND TRANSMISSION COEFFICIENT |
| F.S. | FLOOR SINK | STL. | STEEL |
| FT. | FOOT (FEET) | STRUCT. | STRUCTURAL |
| FTG. | FOOTING | SUSP. | SUSPENDED |
| | | S.V. | SHEET VINYL |
| GA. | GAUGE | T24 | TITLE 24 |
| GALV. | GALVANIZED | T. | TREAD |
| GYP. BD. | GYP. BOARD | TEMP. | TEMPORARY |
| G.C. | GENERAL CONTRACTOR | T.J. | TOOLED JOINT |
| | | TYP. | TYPICAL |
| | | 1/- | TOP OF |
| | | U.N.O. | UNLESS NOTED OTHERWISE |
| H.B. | HOSE BIB | V. | VENT |
| H.M. | HOLLOW METAL | V.C.T. | VINYL COMPOSITION TILE |
| HORIZ. | HORIZONTAL | VERT. | VERTICAL |
| HWHR. | HARDWARE | V.I.F. | VERIFY IN FIELD |
| HT. | HEIGHT | V.B. | VINYL BASE |
| HVAC | HEATING VENTILATING AND COOLING | W/ | WITH |
| | | W.C. | WOOD CLOSET |
| | | WD. | WOOD |
| | | W.H. | WATER HEATER |
| | | W.P. | WATER PROOF |
| | | W.I. | WROUGHT IRON |
| | | W.W.F. | WELDED WIRE FABRIC |

LEGAL DESCRIPTION

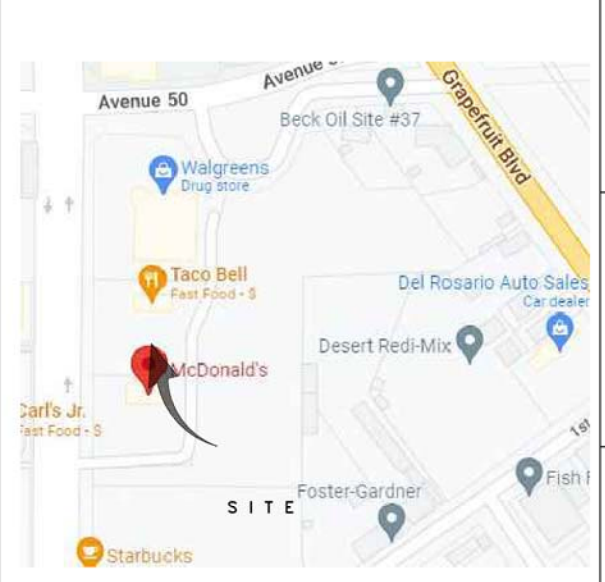
- APN NUMBER: : 778-010-014
- STREET ADDRESS: 50090 HARRISON ST., COACHELLA 92236
- LEGAL DESCRIPTION: LEGAL DESCRIPTION: PARCEL 5 INCLUSIVE OF PARCEL MAP NO 18111, IN THE CITY OF VICTORVILLE STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 241 OF PARCEL PAGES 17 TO 25, RECORDS OF SAN BERNADINO COUNTY, CALIFORNIA.
- EXCEPTING THEREFROM THE RIGHT TO ONE-HALF ANY AND ALL OIL OR MINERALS WHICH MAY BE DEVELOPED ON THE HEREIN ABOVE DESCRIBED PROPERTY, AS RESERVED IN THE DEED FROM ELLIS S. JOHNSON AND ALLINE JOHNSON, HUSBAND AND WIFE, IN THE DEED RECORDED DECEMBER 2, 1947 IN BOOK 2168, PAGE 448, OF OFFICIAL RECORDS
- ZONING: GENERAL COMERCIAL (C-2)
- GENERAL PLAN DESIGNATION: SITE PAN W/ DRIVE-THRU
- EXISTING LAND USE: RETAIL/RESTAURANT

SCOPE OF WORK

- MODIFICATIONS TO EXISTING McDONALD'S RESTAURANT INCLUDING:
- REVISE DRIVE THRU LANE
- REVISE (E) PARKING SPACES AS REQUIRED

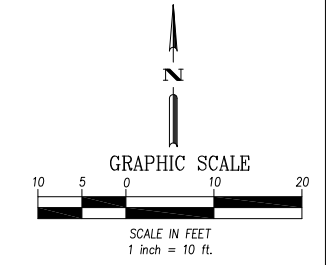
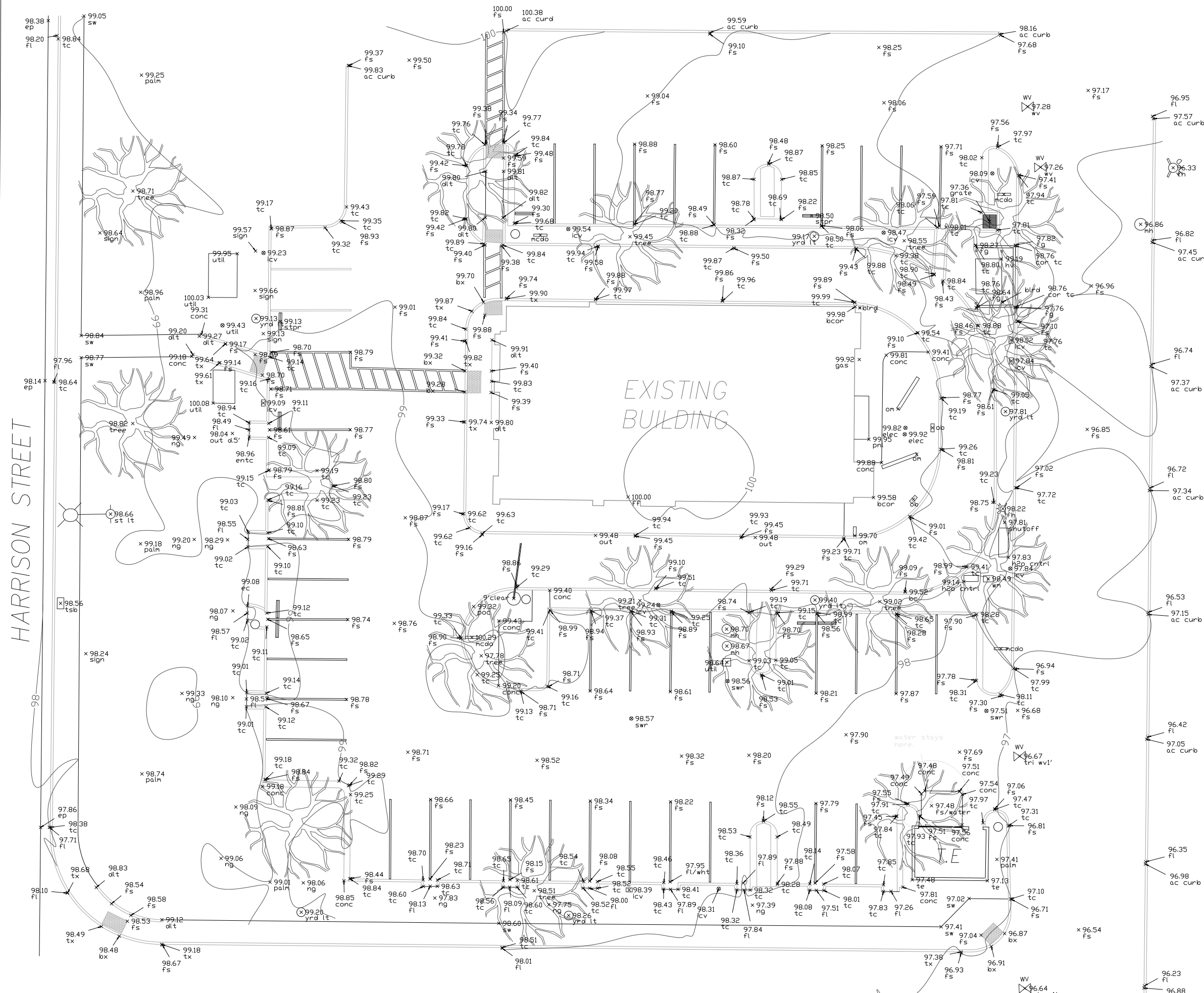
NOTE: THERE ARE NO CHANGES TO THE KITCHEN EQUIPMENT, KITCHEN STORAGE, DINING ROOM SEATING ARRANGEMENT, INTERIOR FINISHES, OR RESTAURANT MENU UNDER THIS PERMIT.

VICINITY MAP



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TITLE	McDONALD'S RESTAURANT	HARRISON ST. , COACHELLA
SITE	50090 HARRISON ST.	
DESCRIPTION	SBS Configuration	
NATIONAL #		
SITE ID	004-4568	SITE ADDRESS 50090 Harrison St., Coachella Ca. 92236



LEGEND:

BLRD	BOLLARD
BUMP	SPEED BUMP
BW	BACK OF WALK
BX	BOTTOM OF X
CC	CORNER CONCRETE
CLM	COLUMN
DLT	DAYLIGHT/O CURB FACE
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FL	FLOWLINE
FF	FINISHED FLOOR
FS	FINISHED SURFACE
ICV	IRRIGATION CONTROL VALVE
MH	MANHOLE
OB	ORDER BOOTH
OM	ORDER MENU
STLT	STREET LIGHT
STPR	STOPPER
SW	SIDEWALK
TC	TOP OF CURB
TE	TRASH ENCLOSURE
TX	TOP OF X
WM	WATER METER
WV	WATER VALVE
YRDLT	YARDLIGHT

GENERAL NOTES:
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS WRITTEN AND PROMULGATED BY THE LATEST EDITION OF SOUTHERN CALIFORNIA CHAPTER OF THE A.P.W.A., A.G.C., JOINT COOPERATIVE COMMITTEE. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S USA, LLC. USE OF THESE DRAWINGS FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED. REPRODUCTION OF THESE DRAWINGS FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED.

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EXACT LAYOUTS OF ALL LANDSCAPE ELEMENTS MAY NEED TO BE MODIFIED AND SOME FIELD ADJUSTMENTS MAY BE NECESSARY. THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, TIME AND LABOR FOR ANY MODIFICATIONS NECESSARY TO IMPLEMENT THE INTENT OF THE DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING QUANTITIES, THE IMPROVEMENTS AND EARTHWORK QUANTITIES SHOWN HEREON ARE NOT TO BE USED FOR BIDDING OR ESTIMATING.

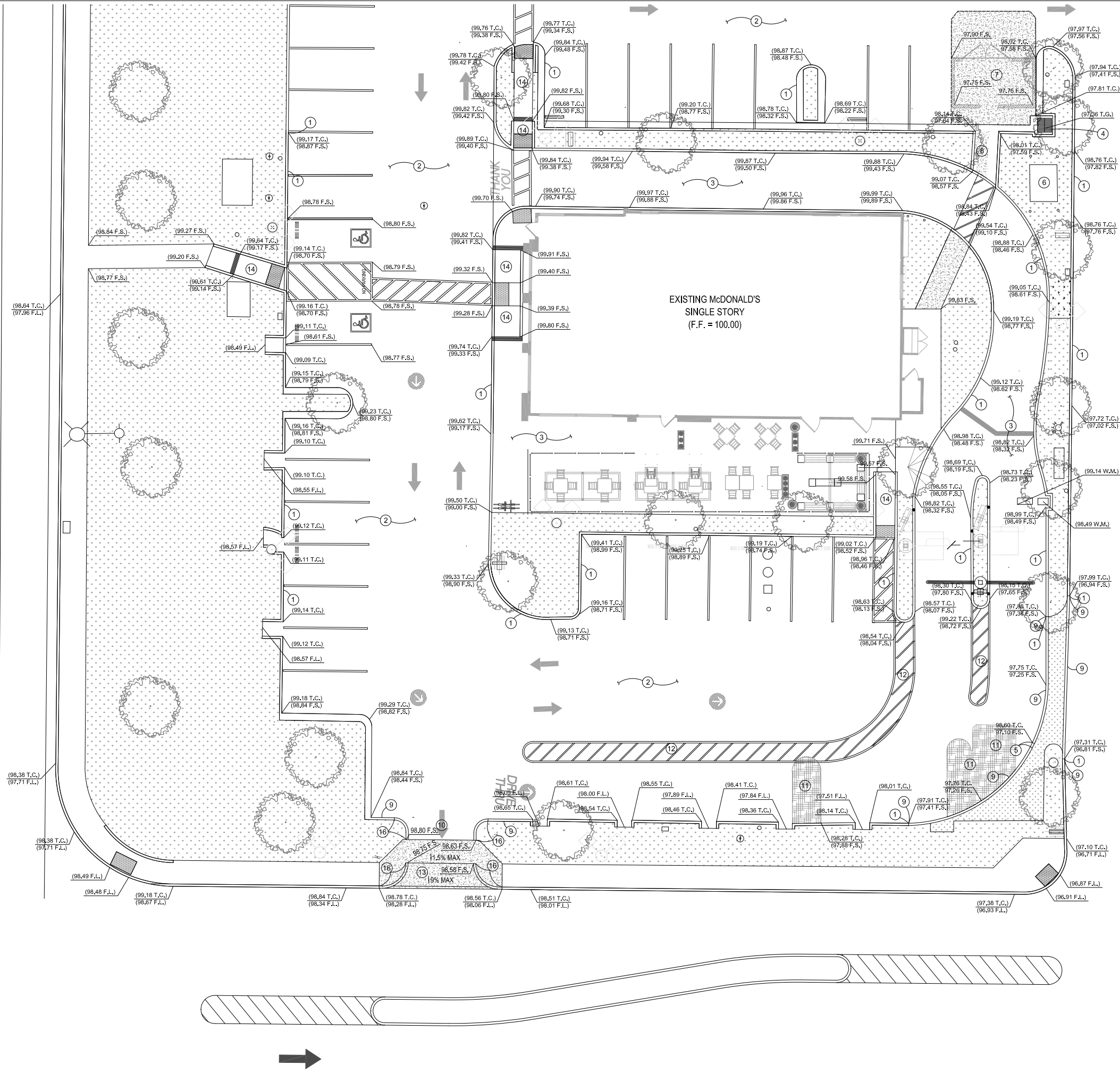
THIS IS NOT A BOUNDARY SURVEY

EXISTING

BY		DESCRIPTION	
REV		DATE	
153 City Place Drive Santa Ana, CA 92705 Phone 714.892.9944			
TOP ENGINEERING The Official Point			
2014 W. CRONE AVE. ANAHEIM, CA 92804 TEL: 714.487.7037 TOPENGINEERING@YAHOO.COM			
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DRAWN BY	R.F.	DATE	
STD. ISSUE DATE	09/07/2022	REVIEWED BY	
R.P.		DATE ISSUED	09/12/2022
TITLE: MCDONALD'S RESTAURANT 50090 HARRISON ST., COACHELLA DESCRIPTION: SCS Configuration SHEET NO.: NATIONAL # C-1			
SHEET NO. 36			

Item 3.

HARRISON STREET

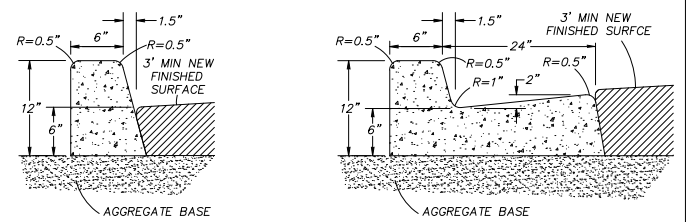


LEGEND

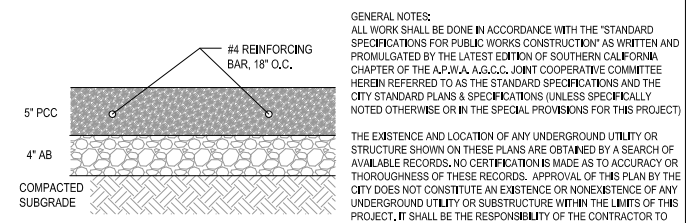
	PROPOSED ELEVATIONS		BACK OF SIDEWALK		INVERT
	EXISTING ELEVATIONS		CENTERLINE CLEANOUT		INVERT BOX
	PROPERTY LINE		CONCRETE		LINEAR FEET
	ELECTRICAL LINE		CONCRETE		LUMP SUM
	CHAIN LINK FENCE		SURVEY CONTROL POINT		LIGHT
	RECLAIMED WATER		TOP OF DECK		PIPE SLOPE
	SEWER LINE		DOWN SPOUT		SQUARE FEET
	TELEPHONE LINE		EXISTING GRADE		SIGN
	WATER LINE		EDGE OF PAVEMENT		TOP OF CURB
	BLOCK WALL		FIRE HYDRANT		TOP CONC. WALL
	EDGE OF PAVEMENT		FINISHED FLOOR		TOP OF PIPE
	EXISTING BUILDING		FLOW LINE		TOP OF RAIL
	CONCRETE		TOP OF FOOTING		TOP OF RAMP
	ASPHALTIC CONCRETE		FINISHED SURFACE		WATER VALVE
	DRAINAGE DIRECTION		GRADE BREAK		LANDSCAPED AREA
			GAS METER		
			HIGH POINT		
			SLOPE DIRECTION		

CONSTRUCTION NOTES

ITEM	DESCRIPTION
1	PROTECT IN PLACE EXISTING CONCRETE CURB AND GUTTER / CURB ONLY
2	PROTECT IN PLACE EXISTING ASPHALT CONCRETE; G.C. TO PATCH & REPAIR AS REQUIRED, THEN RE-STRIPE PER McDONALD'S GOLD STANDARDS
3	PROTECT IN PLACE EXISTING CONCRETE
4	PROTECT IN PLACE EXISTING INLET
5	CONSTRUCT NEW 12" CURB OPENING FOR DRAINAGE
6	PROTECT IN PLACE EXISTING UTILITY
7	CONSTRUCT NEW TRASH ENCLOSURE
8	CONSTRUCT NEW WALKWAY, 2% MAX CROSS SLOPE, 5% MAX PATH OF TRAVEL SLOPE 520-C-2900
9	CONSTRUCT NEW 6" CONCRETE CURB ONLY / CURB AND GUTTER
10	CONSTRUCT NEW BLACK CONCRETE TO MATCH WITH EXISTING ELEVATION 560-C-3250
11	CONSTRUCT NEW AC PAVING TO MATCH WITH EXISTING ELEVATION
12	INSTALL NEW STRIPING
13	CONSTRUCT NEW 6" CONCRETE DRIVEWAY APPROACH
14	PROTECT IN PLACE EXISTING RAMP
15	CONSTRUCT NEW 0" CONCRETE CURB
16	TRANSITION FROM 6" CONCRETE CURB TO 0" CONCRETE CURB
17	
18	
19	
20	
21	
22	
23	



CURB ONLY DETAIL NOT TO SCALE
CURB & GUTTER DETAIL NOT TO SCALE



10 PAVEMENT SECTION N.T.S.

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THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY OR STRUCTURE SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NO CERTIFICATION IS MADE AS TO ACCURACY OR THOROUGHNESS OF THESE RECORDS. APPROVAL OF THIS PLAN BY THE CITY DOES NOT CONSTITUTE AN EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITY OR SUBSTRUCTURE WITHIN THE LIMITS OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES (BY POT-HOLING OR OTHER MEANS). THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) 48 HOURS BEFORE ANY EXCAVATION.

EXACT LAYOUTS OF ALL HARDSCAPE ELEMENTS MAY NEED TO BE MODIFIED AND SOME FIELD ADJUSTMENTS MAY BE NECESSARY. THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, TIME AND LABOR FOR ANY MODIFICATIONS NECESSARY TO IMPLEMENT THE INTENT OF THE DRAWINGS.

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SCALE IN FEET
1 inch = 10 ft.

PROPOSED

BY		DESCRIPTION	
REV	DATE		

designnum
153 City Place Drive | Santa Ana | CA | 92705
Phone 714.892.3900 | Fax 714.892.3944

TOP ENGINEERING
The Official Point
REGISTERED PROFESSIONAL ENGINEER
No. C63381
STATE OF CALIFORNIA

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DRAWN BY	STD. ISSUE DATE	REVIEWED BY	DATE ISSUED
R.F.	09/07/2022	R.P.	09/12/2022

McDONALD'S RESTAURANT
50090 HARRISON ST., COACHELLA
DESIGNATION
SBS Configuration

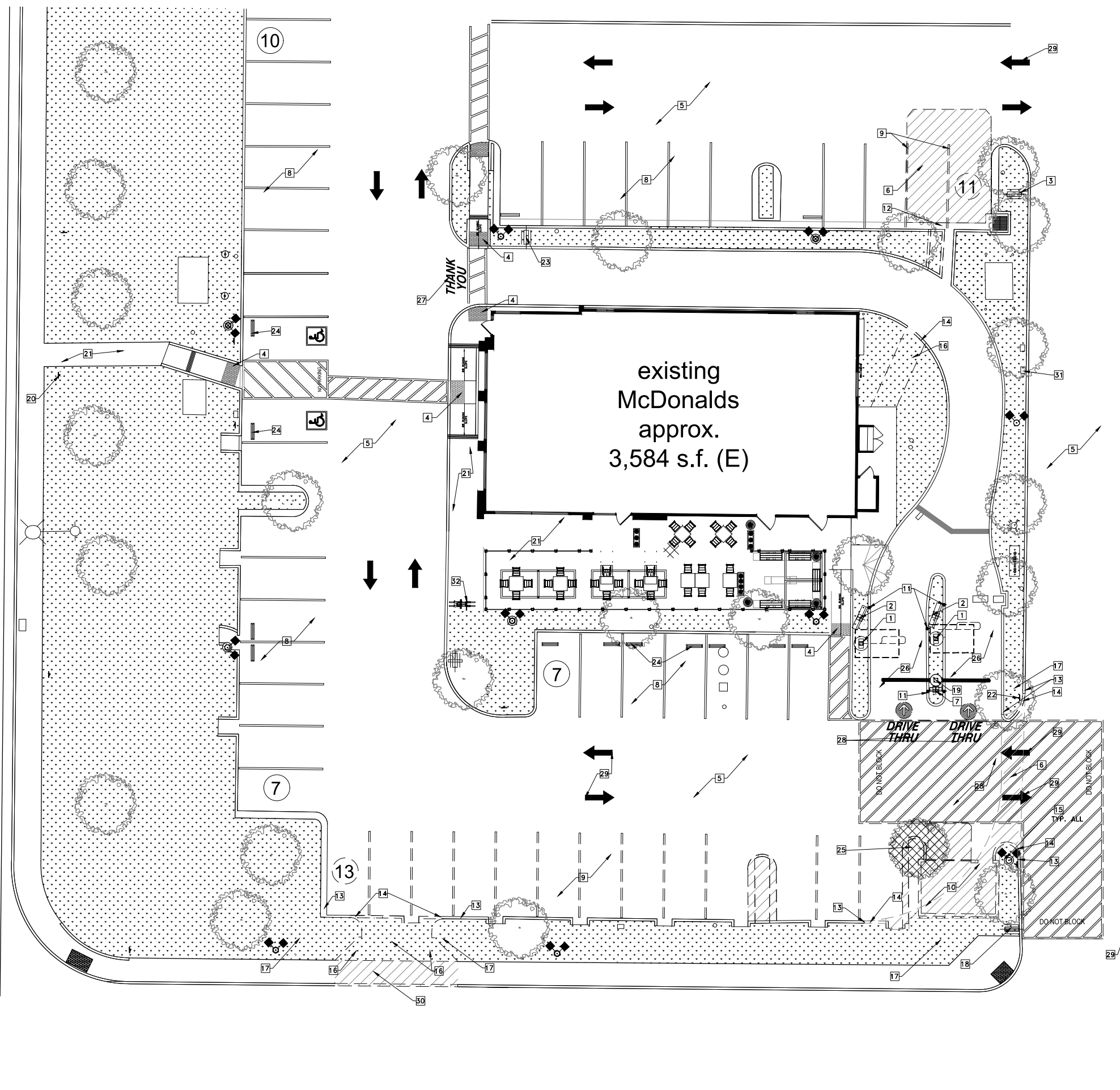
SITE ID
204-4568 50090 Harrison St., Coachella, Co. 92236

NATIONAL #
C-2

37

10/31/2022

HARRISON STREET



MARK	DESCRIPTION OF WORK	REV	DATE	DESCRIPTION	PLANNING COMMENTS
1	(E) C.O.D. TO REMAIN				
2	(E) MENU BOARD SIGNAGE AND FOOTING TO REMAIN				
3	(E) SIGNAGE TO RELOCATE				
4	(E) TRUNCATED DOME TO REMAIN				
5	(E) ASPHALT CONCRETE PAVING TO REMAIN.				
6	(E) ASPHALT CONCRETE PAVING TO BE REMOVED				
7	(E) PRE-SALE BOARD AND FOOTING TO REMAIN				
8	(E) PARKING STALLS TO REMAIN				
9	(E) STRIPING TO BE REMOVED				
10	(E) TRASH ENCLOSURE TO BE REMOVED				
11	(E) BOLLARD TO REMAIN				
12	(E) GUTTER TO REMAIN				
13	(E) CONC. CURB TO REMAIN				
14	(E) CONC. CURB TO BE REMOVED				
15	(E) LIGHT POLE TO REMAIN				
16	(E) LANDSCAPE AREA W/IRRIGATION SYSTEM TO BE REMOVED				
17	(E) LANDSCAPING W/ IRRIGATION SYSTEM TO REMAIN.				
18	MC DONALD'S DIRECTIONAL SIGN TO BE REPLACED SIGN FACE FOR STRAIT AHEAD DIRECTION				
19	(E) GATEWAY AND CONCRETE FOOTING TO REMAIN				
20	(E) ACCESSIBLE DIRECTIONAL SIGN TO REMAIN				
21	(E) SIDEWALK TO BE TO REMAIN				
22	(E) UNAUTHORIZED PARKING SIGN TO BE RELOCATED				
23	(E) MCDONALD'S DIRECTIONAL SIGN TO REMAIN				
24	(E) WHEEL STOP TO REMAIN				
25	(E) TREE TO BE REMOVED				
26	(E) BLACK CONCRETE PAVING TO REMAIN				
27	(E) "THANK YOU" SIGN TO REMAIN				
28	(E) STRIPPING TO BE REMOVED				
29	(E) STRIPPING ARROW REMOVED				
30	(E) SIDEWALK TO BE REMOVED				
31	(E) MAIL BOX TO BE RELOCATED				
32	(E) BIKE RACK				

KEY NOTES SITE PLAN

- (E) PARKING LOT LIGHT POLE TO REMAIN. PROTECT IN PLACE U.N.O.
- (E) LANDSCAPE w/ IRRIGATIONS SYSTEMS, PLANTS, ETC. TO BE REPAIRED OR REPLACED AS NECESSARY TO "AS-NEW" CONDITION AT END OF CONSTRUCTION (3169 SF.)
- (E) LANDSCAPE TO BE REMOVED
- REMOVE (E) CONC. WALK
- (E) ASPHALT TO BE REMOVED
- (X) PARKING STALL COUNT
- (E) TREE TO REMAIN
- (E) TREE OR SHRUB TO BE REMOVED



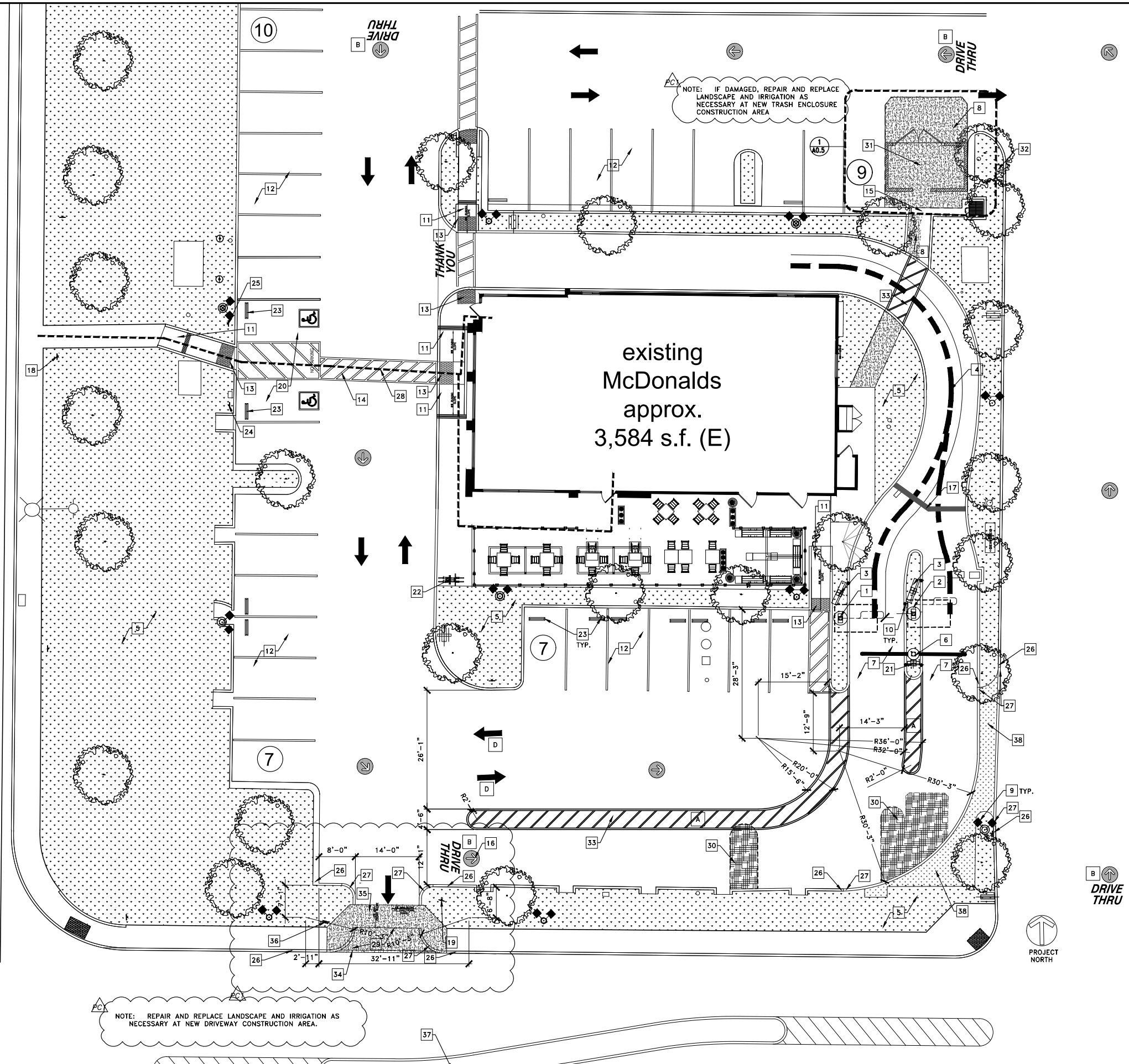
EXISTING-DEMO SITE PLAN

SCALE: 3/32"=1'-0"

SITE LEGEND

Item 3.	
<p>BY: [Signature]</p> <p>DATE: 10-28-22</p> <p>REV: AC</p>	<p>DESCRIPTION: PLANNING COMMENTS</p>
<p>PLANNING AND DESIGN 153 East City Place Drive Santa Ana, Ca. 92705 Phone 714.992-5900 Fax 714.992-5944</p>	
<p>11/11/2022</p>	
<p>M. McDonald's USA, LLC</p> <p><small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced in any form without the prior written consent of McDonald's USA, LLC. Use of these drawings and specifications for any other project is strictly prohibited. Use of these drawings and specifications for any other project is strictly prohibited. Use of these drawings and specifications for any other project is strictly prohibited. Use of these drawings and specifications for any other project is strictly prohibited.</small></p>	
<p>TITLE: MCDONALD'S RESTAURANT</p> <p>50090 HARRISON ST., COACHELLA</p> <p>DESCRIPTION: SBS Configuration</p> <p>DEMO SITE PLAN</p> <p>SITE ID: 004-4588</p> <p>SITE ADDRESS: 50090 Harrison St., Coachella Co. 92236</p>	<p>DRAWN BY: [Signature]</p> <p>R.P. DATE: 09/07/2022</p> <p>REVIEWED BY: [Signature]</p> <p>R.P. DATE: 09/12/2022</p>
<p>NATIONAL #</p> <p>DO.1</p> <p>DEMO SITE PLAN</p>	

HARRISON STREET



PROPOSED SITE PLAN

SCALE: 3/32"=1'-0"

MARK	DESCRIPTION OF WORK	DETAIL #
1	(E) PRIMARY C.O.D. W/ CANOPY UNIT	
2	(E) SECONDARY C.O.D. COMBO UNIT W/CANOPY UNIT	
3	(E) MENU BOARD	
4	(E) LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE PRIMARY C.O.D TO THE CENTER LINE OF THE CASHIER BOOTH WINDOW: 95'-0"	
5	(E) LANDSCAPING AREA WITH IRRIGATION SYSTEM	
6	(E) GATEWAY AND CONCRETE FOOTING	
7	(E) BLACK CONCRETE PAVING TO REMAIN	
8	(N) BLACK CONCRETE APRON	
9	(E) SITE LIGHT POLE TO REMAIN PROTECT IN PLACE	
10	(E) BOLLARD TO REMAIN	
11	(E) ACCESSIBLE CURB RAMP WITH SLOPE ≤ 8% IN DIRECTION OF TRAVEL. 2% MAX. CROSS SLOPE	
12	(E) PARKING STALLS TO REMAIN, REPAINT STRIPES	
13	(E) TRUNCATED DOME	
14	(E) 4" WIDE BLUE PAINTED STRIPES AT 45° @ 3' O.C.	
15	(E) GREY CONCRETE GUTTER	
16	(N) DRIVE THRU SIGN STRIPING	
17	(E) 6" PAINTED MERGE STRIPING	
18	(E) ACCESSIBLE PATH OF TRAVEL SIGN, INDICATING PATH OF TRAVEL FROM PUBLIC WAY TO ACCESSIBLE BUILDING ENTRANCES	
19	RELOCATED (E) UNAUTHORIZED PARKING SIGN	
20	(E) ACCESSIBLE PARKING STALLS W/ UNIVERSAL ACCESSIBILITY SYMBOL	
21	(E) PRESELL BOARD	
22	(E) BIKE RACK	
23	(E) WHEEL STOP	
24	(E) VAN ACCESSIBLE PARKING SIGN	
25	(E) ACCESSIBLE PARKING SIGN	
26	(E) CONCRETE CURB TO REMAIN	
27	(N) CONCRETE CURB	3,8,9/A0.3
28	(E) PATH OF TRAVEL W/5% MAX. SLOPE IN DIRECTION OF TRAVEL. 2% MAX. CROSS SLOPE.	
29	(N) CONCRETE APRON PER CITY STANDARD	
30	(N) ASPHALT PAVING - MATCH ADJACENT	
31	(N) THRASH ENCLOSURE	A0.5
32	RELOCATED (E) MAIL BOX	
33	NEW STRIPPING	
34	0" NEW CURB	
35	CONTINUOUS GENERAL PATH OF CIRCULATION	
36	DO NOT ENTER SIGN FACING DRIVE AISLE; RIGHT TURN ONLY FACING PARKING LOT	
37	EXISTING MEDIAN	
38	NEW LANDSCAPE AREA	

PARKING ANALYSIS:
 EXISTING SPACES: 48 SPACES
 PROPOSED SPACES: 33 SPACES (15 SPACES REMOVED)
 CUSTOMER AREA: 920 SF = 21 SPACES
 REMAINING OCCUPIED AREA: 2,022 SF = 11 SPACES

- REQUIRED PARKING: 32 SPACES**
- STRIPPING NOTES**
- A YELLOW PAINT (TO MATCH PMS 123 YELLOW PER McDONALD'S STANDARD) SHALL BE USED FOR ALL DRIVE-THRU MARKINGS, TYP. & OOSP STALL.
 - B THE WORDS 'DRIVE THRU' AND CIRCLE ARROW SHALL BE CENTERED IN THE DRIVEWAY FOR ONE-WAY TRAFFIC (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC
 - C THE WORDS 'THANK YOU' SHALL BE CENTERED IN THE DRIVE THRU LANE
 - D WHITE INGRESS/EGRESS ARROWS PER McDONALD'S STANDARD
 - E ANY LOT STRIPPING OTHER THAN DRIVE-THRU OR ACCESSIBLE MARKING PER THE KEY NOTES ABOVE SHALL BE "WHITE".

(N) PRIMARY ACCESSIBLE PATH OF TRAVEL

DESIGNATED ACCESSIBLE PARKING STALL

EXISTING LIGHT POLE TO REMAIN U.O.N.

NEW CONCRETE CURB

NEW LANDSCAPE AREA WITH NEW IRRIGATION

(E) LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND MAINTAINED IN PRISTINE CONDITION (W/IRRIGATION TO REPAIR AND REPLACE AS NECESSARY)

NEW CONCRETE PAVING

NEW ASPHALT CONCRETE PAVING TO MATCH EXISTING

(E) TREE TO REMAIN

Site Symbols Legend

REV	DATE	DESCRIPTION	BY
10-28-22		PLANNING COMMENTS	
11-11-2022			

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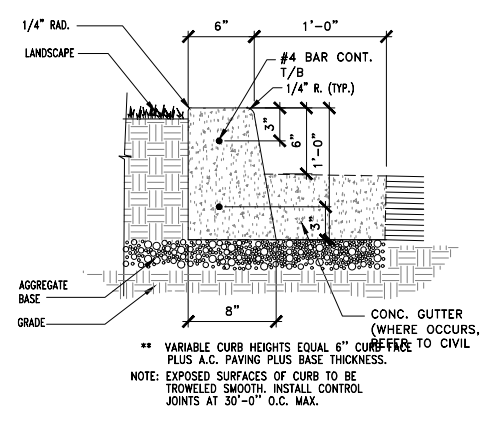
McDonald's RESTAURANT
 50090 HARRISON ST., COACHELLA
 DESCRIPTION: SBS Configuration
 PROPOSED SITE PLAN
 SITE ADDRESS: 50090 Harrison St., Coachella Ca. 92236
 NATIONAL #

SCALE: 3/32"=1'-0"

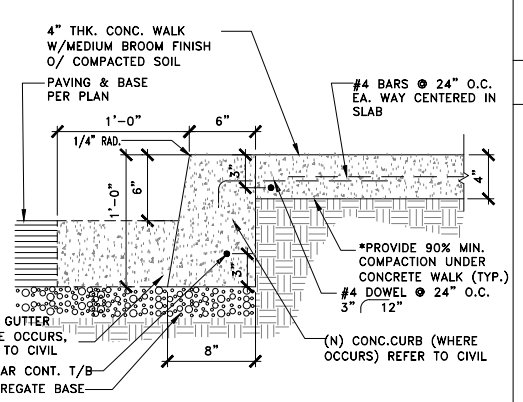
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Item 3.

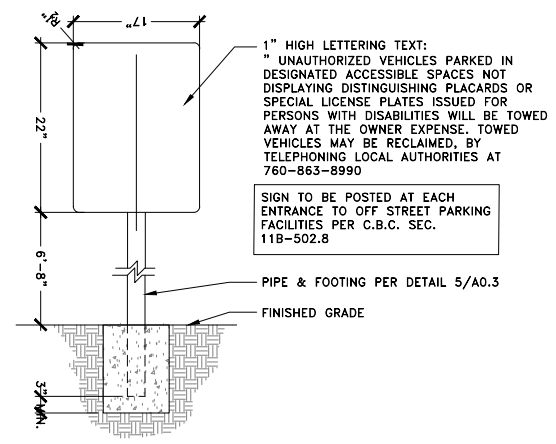
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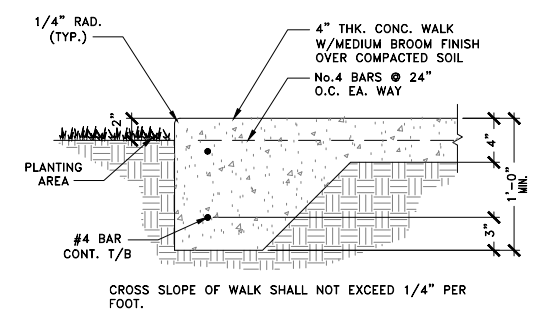
CURB @ PLANTER SCALE: 1 1/2"=1'-0" 9



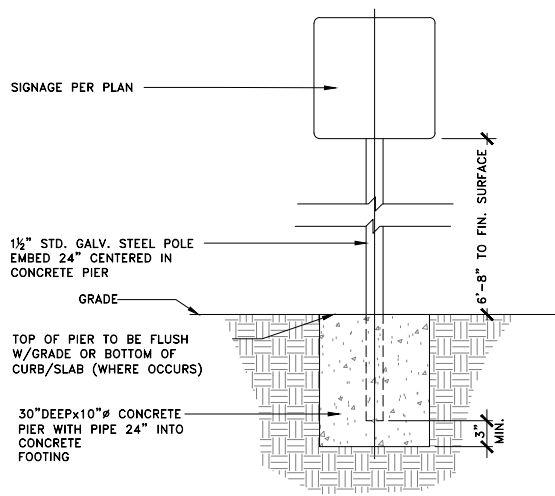
CONCRETE CURB @ SIDEWALK SCALE: 1 1/2"=1'-0" 8



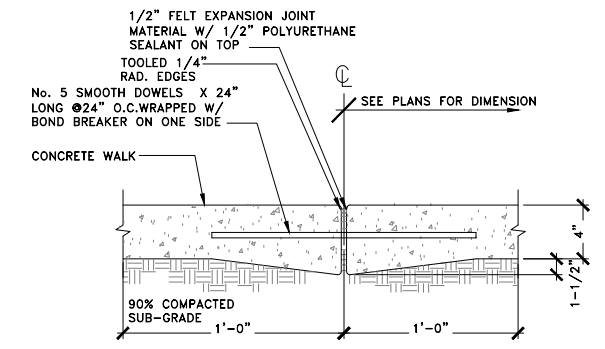
UNAUTHORIZED PARKING SIGN SCALE: 1/4"=1'-0" 6



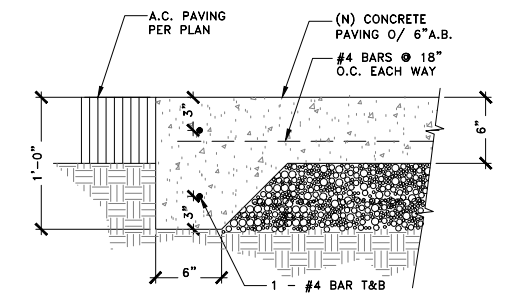
SIDEWALK THICKENED EDGE SCALE: 1 1/2"=1'-0" 3



PIPE & FOOTING DETAIL SCALE: 1 1/2"=1'-0" 5

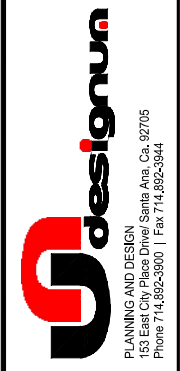


CONCRETE SIDEWALK SCALE: 1 1/2"=1'-0" 2



PAVING EDGE TRANSITION SCALE: 1 1/2"=1'-0" 1

REV	DATE	DESCRIPTION	BY
AC	10-28-22	PLANNING COMMENTS	



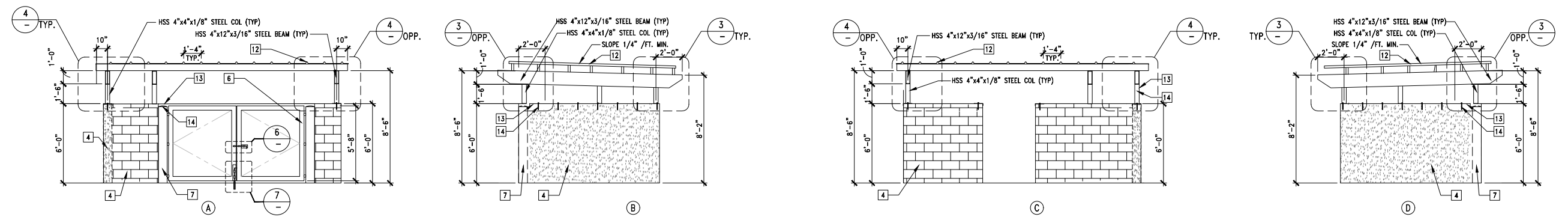
M. McDonald's USA, LLC
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DATE	BY	DESCRIPTION
09/07/2022	R.P.	STD. ISSUE
09/12/2022	R.P.	REVIEWED
09/12/2022	R.P.	DATE ISSUED

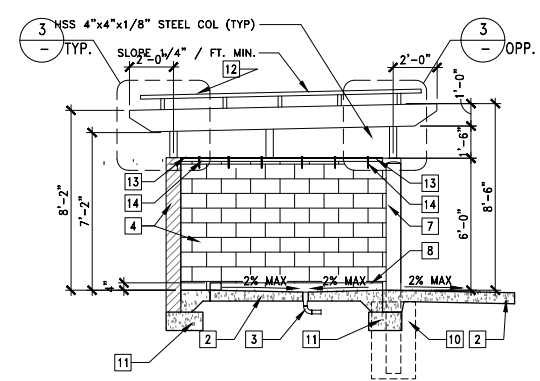
TITLE: McDONALD'S RESTAURANT HARRISON ST., COACHELLA
 DESCRIPTION: SBS Configuration
 SITE ID: 004-4588
 SITE ADDRESS: 50090 Harrison St., Coachella Co. 92236

NATIONAL #
A0.3
SITE DETAILS

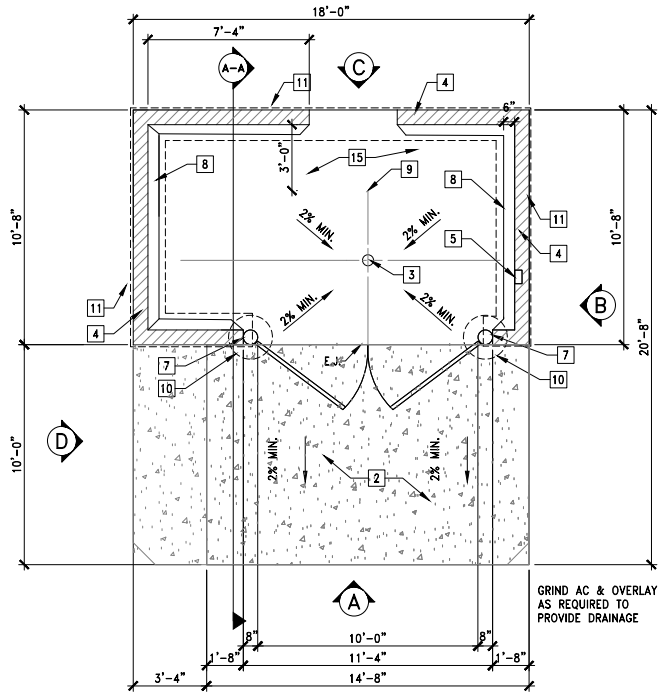
Item 3.



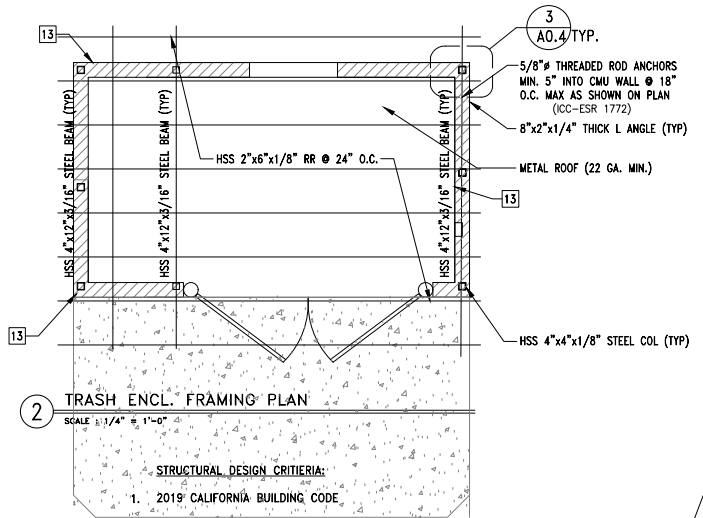
TRASH ENCLOSURE ELEVATIONS
SCALE : 1/4" = 1'-0"



SECTION A-A
SCALE : 1/4" = 1'-0"



1 TRASH ENCL. PLAN
SCALE : 1/4" = 1'-0"

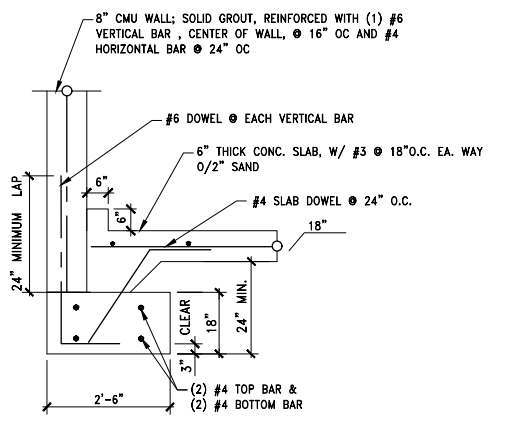


2 TRASH ENCL. FRAMING PLAN
SCALE : 1/4" = 1'-0"

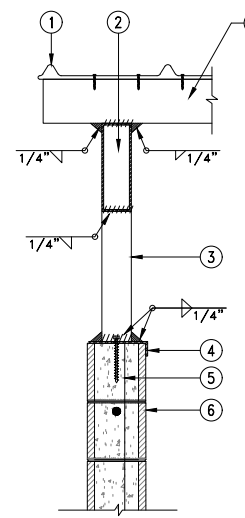
- STRUCTURAL DESIGN CRITERIA:**
- 2019 CALIFORNIA BUILDING CODE
 - ROOF AVERAGE DEAD LOAD, 3 PSF
ROOF LIVE LOAD, 10 PSF
 - BASIC WIND SPEED, (3-SECOND GUST) 110 MILES PER HOUR
WIND IMPORTANCE FACTOR, I=1.0
WIND EXPOSURE, C
 - SEISMIC USE GROUP, I
SPECTRAL RESPONSE COEFFICIENTS, SS=1.805
SI=0.691
Fa=1.0; Sds= 1.205
SITE CLASS= "D" SEISMIC DESIGN CATEGORY="D"

GENERAL REQUIREMENTS

WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
BUILDING CODE: 2013 CALIFORNIA BUILDING CODE
ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES,
LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE
SITE.
ALL BEAMS, HDRS, POSTS AND HARDWARE CALLED OUT ON PLANS
MUST BE VERIFIED AT SITE DURING CONSTRUCTION.
ENGINEER OF RECORD IS TO BE NOTIFIED BY THE CONTRACTOR
SHOULD ANY QUESTIONS ARISE OR DISCREPANCIES ARE FOUND
PERTAINING TO DRAWINGS AND/OR SPECIFICATIONS.



5 FOOTING DETAIL
SCALE : N.T.S.

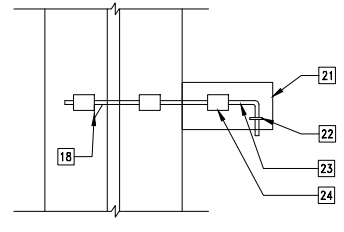


4 CONNECTION DETAIL
SCALE : N.T.S.

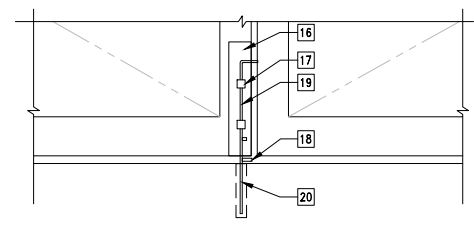
- CORRUGATED GALVANIZED G-90 - 2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW @ 6" O.C. TO STEEL BEAM
- 4X12 X 3/16" STEEL BEAM PER PLAN
- STEEL COLUMN PER PLAN
- STEEL ANGLE PER PLAN
- ANCHOR BOLT, SEE PLAN FOR LOCATIONS & SIZE
- CMU WALL, SEE PLAN
- ROOF RAFTER PER PLAN. NOTE-PROVIDE END CAP, STEEL PLATE, WELD & GRIND SMOOTH

COLOR OF METAL ROOF: LIGHT GRAY COLOR
COLOR OF METAL FRAMING: LIGHT GRAY COLOR
TO MATCH ROOF'S COLOR

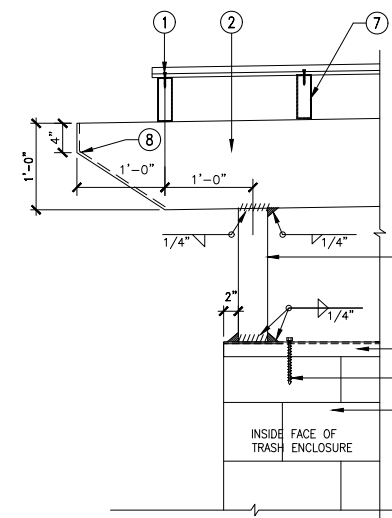
STATEMENT OF SPECIAL INSPECTION:
SPECIAL INSPECTION FOR THE FOLLOWING ITEMS:
FIELD WELDING; EPOXIED ANCHORS AS PER KEYNOTE # 14 AS
REQUIRED BY CBC 1704.4



6 SLIDE BOLT DETAIL
SCALE : N.T.S.



7 CANE BOLT DETAIL
SCALE : N.T.S.

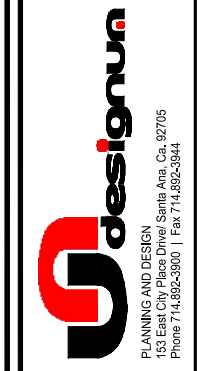


3 CONNECTION DETAIL
SCALE : N.T.S.

- KEY NOTES**
- NOT USED
 - 6" CONCRETE SLAB
 - FLOOR DRAIN SHALL BE INSTALLED AT CENTER OF TRASH ENCLOSURE, REFER TO PLUMBING
 - 8" CMU WALL, SOLID GROUT W/ CEMENT PLASTER FINISH ON THE OUTSIDE TO MATCH BUILDING COLOR
 - WATER HOSE BIB, IN RECESSED BOX, REFER TO PLUMBING
 - 10'-0"W X 5'-8"H METAL GATES
 - 6" X 5'-10"H CONC. FILLED GALV. STEEL POST, TYP.
 - 6" HIGH CONCRETE WHEEL STOP
 - CONTROL/EXPANSION JOINTS
 - 2'-0" X 3'-0" CONCRETE FOOTING
 - 18" MIN. X 2'-6" CONCRETE FOOTING
 - CORRUGATED GALVANIZED G-90 - 2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW @ 6" O.C. TO STEEL BEAM
 - 8"x2"x3/16" THICK L ANGLE (TYP.)
 - 5/8" ANCHOR BOLT, EMBEDDED A MIN. 5" INTO CMU WALL @ 24" O.C. W/ EPOXY ICC ESR 17772
 - SEALED CONCRETE FLOOR WITH EPOXY SEALER AT INSIDE OF TRASH ENCLOSURE
 - CANE BOLT SUPPORT 3/16" METAL PLATE
 - 5/8" I.D. PIPE SECTION WELDED TO THE CANE BOLT SUPPORT
 - STOP PIN REEL
 - 1/2" STEEL CANE BOLT WITH WELDED STOP PIN
 - 1" I.D. STEEL PIPE
 - SLIDE BOLT SUPPORT 3/16" METAL PLATE
 - LOCK HASP
 - 1/2" STEEL SLIDE BOLT WITH WELDED STOP PIN
 - 5/8" I.D. PIPE SECTION WELDED TO THE SLIDE BOLT SUPPORT AND FRAME

- CORRUGATED GALVANIZED G-90 - 2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW @ 6" O.C. TO STEEL BEAM
- 4X12 X 3/16" STEEL BEAM PER PLAN
- STEEL COLUMN PER PLAN
- STEEL ANGLE PER PLAN
- ANCHOR BOLT, SEE PLAN FOR LOCATIONS & SIZE
- CMU WALL, SEE PLAN
- ROOF RAFTER PER PLAN. NOTE-PROVIDE END CAP, STEEL PLATE, WELD & GRIND SMOOTH
- 3/16" STEEL PLATE CLOSURE, WELD & GRIND SMOOTH

COLOR OF METAL ROOF: LIGHT GRAY COLOR
COLOR OF METAL FRAMING: LIGHT GRAY COLOR
TO MATCH ROOF'S COLOR



PLANNING AND DESIGN
153 East City Place Drive Santa Ana, Ca. 92705
Phone 714.992-5900 | Fax 714.992-5944



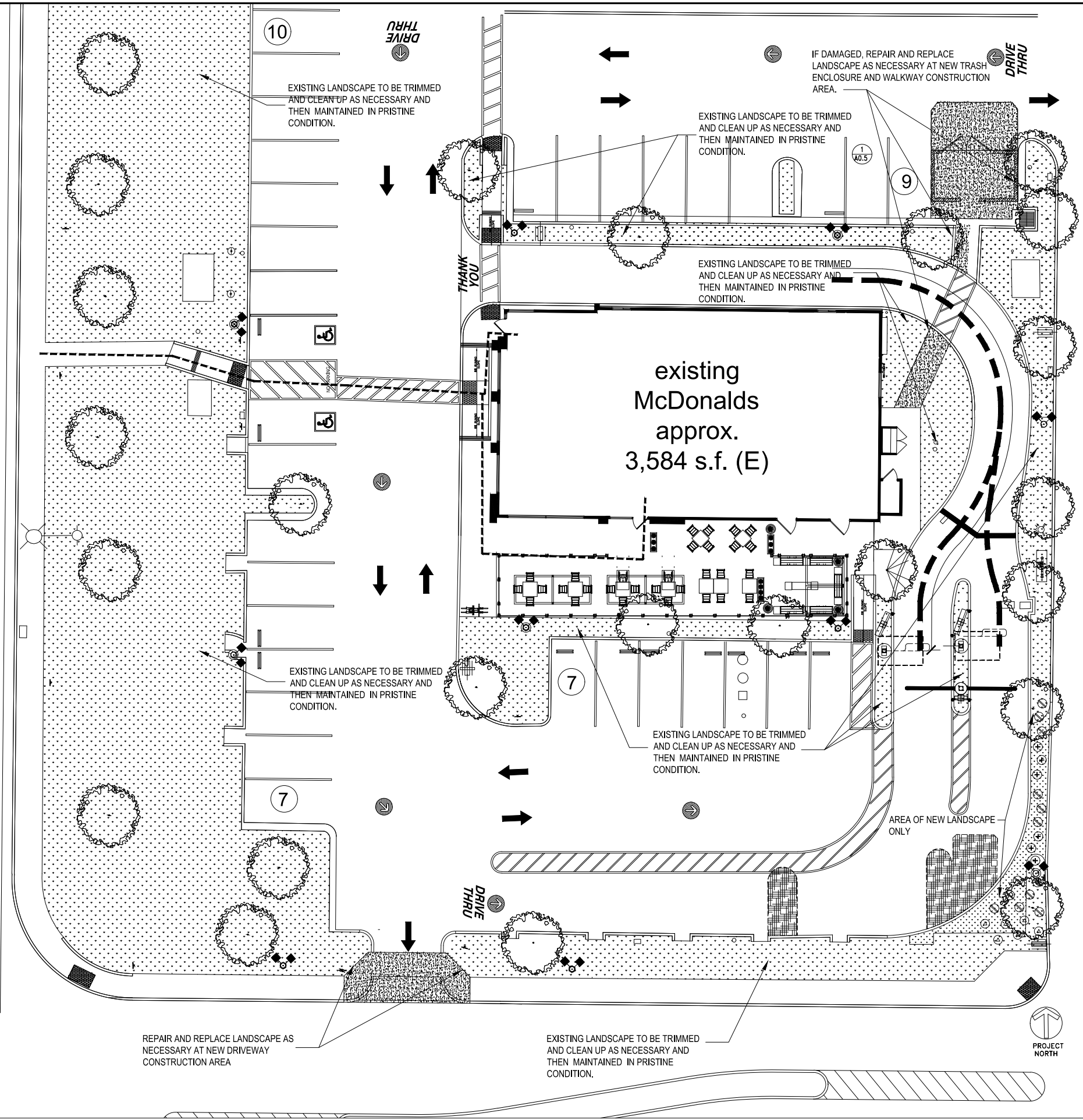
M. McDonald's USA, LLC
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DATE	DESCRIPTION
10-28-22	PLANNING COMMENTS
REV	DATE
AC	10-28-22

DRAWN BY: R.P.
DATE: 09/07/2022
REVIEWED BY: R.P.
DATE ISSUED: 09/12/2022

TITLE: McDONALD'S RESTAURANT HARRISON ST., COACHELLA
50090 HARRISON ST., COACHELLA, CA 92226
DESCRIPTION: SRS Configuration
SITE ID: 004-4588
SITE ADDRESS: 50090 Harrison St., Coachella Ca. 92226

HARRISON STREET



PLANT LEGEND

- SYMBOL BOTANICAL NAME/Common Name/Size
- TREES
- EXISTING TREES TO REMAIN PROTECT IN PLACE PRUNE AS NECESSARY TO SHAPE
- SYMBOL BOTANICAL NAME/Common Name/Size
- SHRUBS
- HESPERALOE PARVIFLORA - RED YUCCA 5 GALLON WUCOLS RATING LOW
 - SENNA ARTEMISIODES - FEATHERY CASSIA 5 GAL. WUCOLS RATING LOW
 - ENCELIA FARINOSA - BRITTLE BUSH 5 GALLON WUCOLS RATING LOW

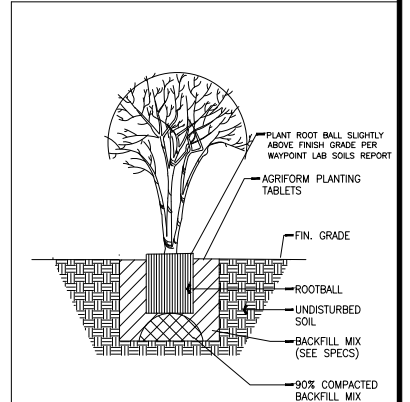
GENERAL GROUND COVER NOTE:
PROVIDE 3" LAYER OF SHREDDED WOOD MULCH AS TOP DRESSING FOR ALL PLANTER AREAS

SYMBOL SITE LEGEND

- (E) LANDSCAPE W/ IRRIGATION TO REMAIN
- NEW ASPHALT CONCRETE PAVING TO MATCH EXISTING



LANDSCAPE PLAN PREPARED BY:
GENE HIRAO
15 POSADA
IRVINE, CALIFORNIA 92614
TEL (714) 296-9811
GHJH@COX.NET



SHRUB PLANTING DETAIL NTS: 1

NEW LANDSCAPE AREA PLAN

SCALE: 3/32"=1'-0"

REV	DATE	DESCRIPTION	BY
1	10-28-22	PLANNING COMMENTS	

Item 3.

designum
PLANNING AND DESIGN
153 East City Place Drive, Santa Ana, Ca. 92705
Phone 714.952-5900 | Fax 714.952-5944

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DRAWN BY	R.P.	DATE
GENE HIRAO		09/07/2022
REVIEWED BY	R.P.	DATE
GENE HIRAO		09/12/2022

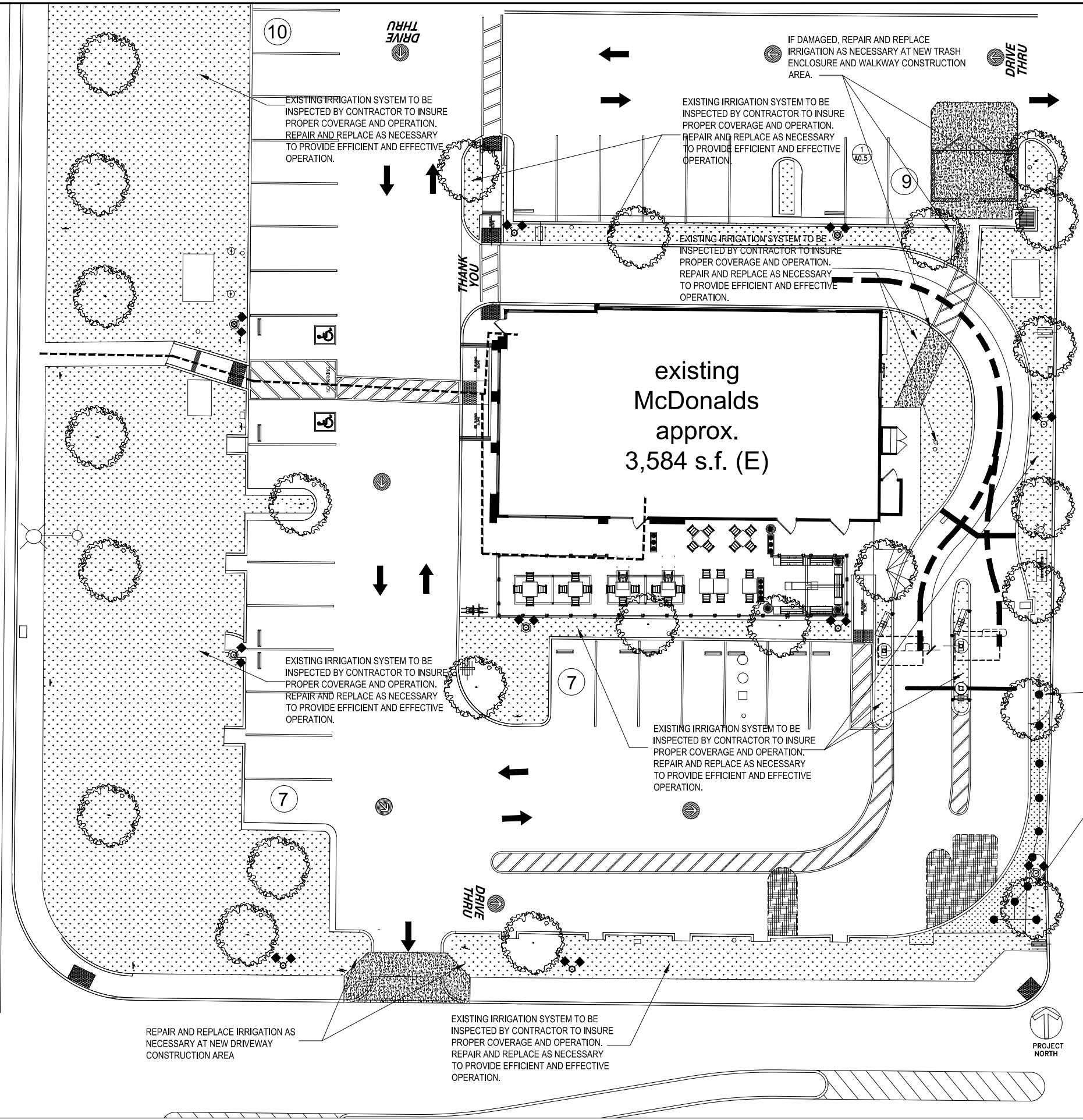
TITLE: **McDONALD'S RESTAURANT**
50090 HARRISON ST., COACHELLA
DESCRIPTION: SBS Configuration
NEW LANDSCAPE AREA PLAN

SITE ID: 004-4588
SITE ADDRESS: 50090 Harrison St., Coachella Ca. 92236

NATIONAL #

LANDSCAPE PLAN

HARRISON STREET



IRRIGATION LEGEND

SYMBOL MANUFACTURE/MODEL NO. DESCRIPTION PSI GPM RADIUS REMARKS

● MATCH EXISTING IRRIGATION EMITTER HEAD

— MATCH EXISTING LATERAL IRRIGATION LINES AND TIE INTO EXISTING SYSTEM

IRRIGATION NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ACTUAL FIELD CONDITIONS PRIOR TO STARTING WORK. CONTRACTOR TO ADJUST AS NECESSARY PROPOSED IRRIGATION SYSTEM TO WORK WITH EXISTING. CONTRACTOR TO MATCH EXISTING SYSTEM WITH SAME COMPONENTS AND TIE INTO EXISTING LINES.
2. CONTRACTOR TO VERIFY FUNCTIONALITY OF EXISTING IRRIGATION CONTROLLER AND TIE IN NEW EMITTERS AND LATERAL LINES. REPAIR AND/OR REPLACE IF NECESSARY TO INSURE PROPER OPERATION.
3. OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FROM APPROPRIATE AGENCIES.
4. INSTALL IRRIGATION SYSTEM IN CONFORMANCE TO ALL LOCAL AGENCY CODES.
5. CONTRACTOR SHALL GUARANTEE OPERATION OF IRRIGATION SYSTEM AND ALL PARTS FOR ONE YEAR FROM DATE OF OWNERS ACCEPTANCE.
6. CONTRACTOR TO ADD EMITTER HEADS AS NECESSARY TO PROVIDE COMPLETE IRRIGATION SYSTEM. CONTRACTOR TO MATCH EXISTING SYSTEM WITH SAME COMPONENTS AND TIE INTO EXISTING LINES.



LANDSCAPE PLAN PREPARED BY:
GENE HIRAO
15 POSADA
IRVINE, CALIFORNIA 92614
TEL (714) 296-9811
GHIR@COX.NET

SCALE:
3/32"=1'-0"

NEW IRRIGATION AREA PLAN

REV	DATE	DESCRIPTION	PLANNING COMMENTS
1	10-28-22	AC	



McDonald's USA, LLC

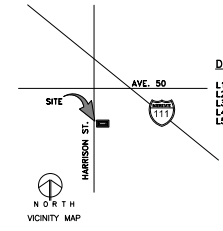
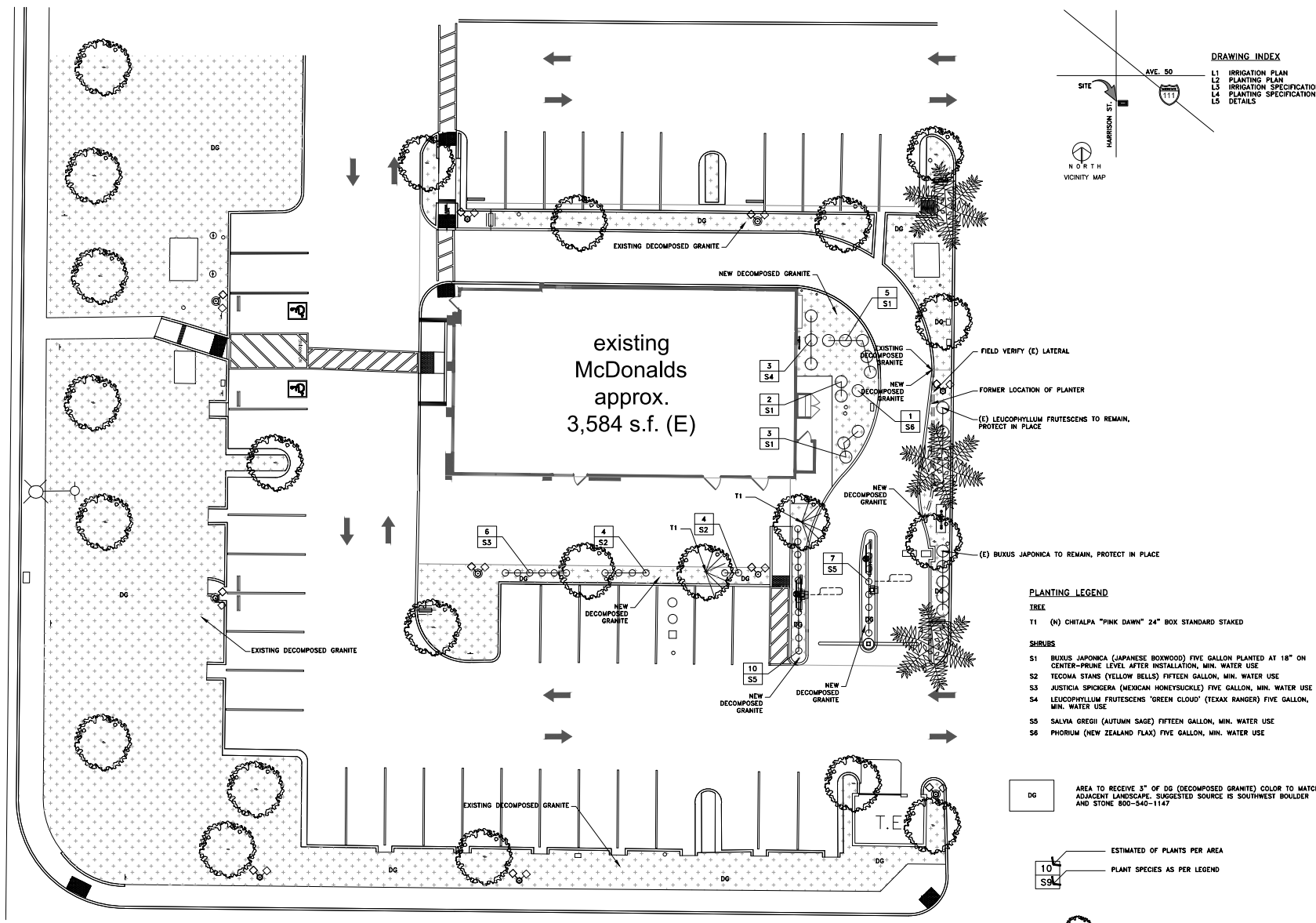
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DRAWN BY	R.F.	DATE
McDONALD'S RESTAURANT	HARRISON ST., COACHELLA	09/07/2022
DESIGNATION	SBS Configuration	REVIEWED BY
NEW IRRIGATION AREA PLAN		R.P.
SITE ID	SITE ADDRESS	DATE ISSUED
004-4588	50090 Harrison St., Coachella Ca. 92236	09/12/2022

NATIONAL #
L2
IRRIGATION PLAN

Item 3.

HARRISON STREET



- PLANTING LEGEND**
- TREE**
- T1 (N) CHITALPA "PINK DAWN" 24" BOX STANDARD STAKED
- SHRUBS**
- S1 BUXUS JAPONICA (JAPANESE BOXWOOD) FIVE GALLON PLANTED AT 18" ON CENTER-PRUNE LEVEL AFTER INSTALLATION, MIN. WATER USE
 - S2 YECOMA STANS (YELLOW BELLS) FIFTEEN GALLON, MIN. WATER USE
 - S3 JUSTICIA SPICIGERA (MEXICAN HONEYSUCKLE) FIVE GALLON, MIN. WATER USE
 - S4 LEUCOPHYLLUM FRUTESCENS "GREEN CLOUD" (TEXAS RANGER) FIVE GALLON, MIN. WATER USE
 - S5 SALVIA GREGII (AUTUMN SAGE) FIFTEEN GALLON, MIN. WATER USE
 - S6 PHORUM (NEW ZEALAND FLAX) FIVE GALLON, MIN. WATER USE

- DG AREA TO RECEIVE 3" OF DG (DECOMPOSED GRANITE) COLOR TO MATCH ADJACENT LANDSCAPE. SUGGESTED SOURCE IS SOUTHWEST BOULDER AND STONE 800-540-1147
- ESTIMATED OF PLANTS PER AREA
- PLANT SPECIES AS PER LEGEND
- EXISTING TREE TO REMAIN
- EXISTING PALM TREE TO REMAIN

Planting Plan

SCALE 3/32" = 1'-0"

1



SHEET NO.	TITLE	DRAWN BY	REV.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION	
									10-07-15
L2	PLANTING PLAN	MC-DONALDS-COACHELLA HARRISON 04-4568	1	10-07-15	PLANTING PLAN	BY	DATE	DESCRIPTION	
									10-12-15
SITE ADDRESS: 5000 HARRISON ST. COACHELLA, CA 92234		PROJECT: PLANTING PLAN		DRAWN BY: [Signature]		DATE: 10-07-15		DESCRIPTION: PLANTING PLAN	
SITE: 5000 HARRISON ST. COACHELLA, CA 92234		PROJECT: PLANTING PLAN		DRAWN BY: [Signature]		DATE: 10-07-15		DESCRIPTION: PLANTING PLAN	



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Existing Conditions Photos – McDonald's Restaurant



Landscape Area Existing Conditions





STAFF REPORT
11/16/2022

TO: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: Coachella General Conditional Use Permit No. 357

SPECIFICS: Conditional Use Permit No. 357 is a request by Teddy Lee for operation of a Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery at 1258 Sixth Street (APN# 778-110-003)

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission continue consideration of the Conditional Use Permit No. 357 for the Coachella General establishment for operation of a Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery at 1258 Sixth Street to the Planning Commission meeting of December 7, 2022. The item was not properly noticed in the Desert Sun, but notices to surrounding property owners were mailed. The subject item will be noticed properly in the Desert Sun pursuant to the City's noticing requirements for the December 7, 2022 meeting.



STAFF REPORT
11/16/2022

TO: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: City of Coachella 6th Cycle Housing Element

SPECIFICS: General Plan Amendment No. 21-02 and Environmental Assessment No. 22-03 for consideration of the City of Coachella 6th Cycle Housing Element

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission continue consideration of the City of Coachella 6th Cycle Housing Element to January 18, 2023. A draft of the Housing Element Update has been prepared and is currently under second review by the California Department of Housing and Community Development (HCD). Staff does not have an update when HCD will be complete with its review of the draft Housing Element and originally provided public notice.

BACKGROUND:

The City of Coachella Development Services Department has prepared the 6th Cycle Housing Element to comply with State requirements to address existing and future housing needs for persons of all economic groups in the City of Coachella. The Housing Element is a tool for use by community members and public officials in understanding and meeting the housing needs in Coachella. The current draft of the Coachella Housing Element is posted on the City's website <https://www.coachellahousingelement.com/>.