



AGENDA

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

November 16, 2022 6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

If you would like to attend the meeting via zoom, here is the link:

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Spanish: El idioma español está disponible en Zoom seleccionado la opción en la parte de abajo de la pantalla

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In writing:

Written comments may be submitted to the commission electronically via email to gperez@coachella.org. Transmittal prior to the start of the meeting is required. All written comments received will be forwarded to the commission and entered into the record.

IF YOU WISH, YOU MAY LEAVE A MESSAGE AT (760) 398-3102, EXTENSION 122, BEFORE 4:00 P.M. ON THE DAY OF THE MEETING.

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

ROLL CALL:

APPROVAL OF AGENDA:

"At this time the Commission may announce any items being pulled from the agenda or continued to another date or request the moving of an item on the agenda."

APPROVAL OF THE MINUTES:

1. Planning Commission Minutes - October 26, 2022 and November 2, 2022

WRITTEN COMMUNICATIONS:

PUBLIC COMMENTS (NON-AGENDA ITEMS):

"The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes."

REPORTS AND REQUESTS:

NON-HEARING ITEMS:

2. Harrison Corridor Study - Receive and File

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

3. McDonald's Restaurant Drive Through Reconfiguration

Conditional Use Permit No. 358 and Amendment to Architectural Review No. 15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G (General Commercial) zone. Sararee Jirattikanchote (Applicant)

4. Coachella General Conditional Use Permit No. 357

Conditional Use Permit No. 357 is a request by Teddy Lee for operation of a Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery at 1258 Sixth Street (APN# 778-110-003)

5. City of Coachella 6th Cycle Housing Element

General Plan Amendment No. 21-02 and Environmental Assessment No. 22-03 for consideration of the City of Coachella 6th Cycle Housing Element

INFORMATIONAL:

ADJOURNMENT:

Complete Agenda Packets are available for public inspection in the Development Services Department at 53-990 Enterprise Way, Coachella, California, and on the City's website www.coachella.org.

THIS MEETING IS ACCESSIBLE TO PERSONS WITH DISABILITIES



Council Chambers, Hearing Room 1515 6th Street, Coachella, California (760) 398-3502 • www.coachella.org

AGENDA

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

16 de Noviembre, 2022 6:00 PM

DE ACUERDO CON EL PROYECTO DE LEY 361 DE LA ASAMBLEA, JUNTO CON LA DECLARACIÓN DEL ESTADO DE EMERGENCIA DEL GOBERNADOR EMITIDA EL 4 DE MARZO DE 2020, ESTA REUNIÓN SE PODRÁ REALIZAR POR TELECONFERENCIA.

Si desea asistir a la reunión a través de zoom, aquí está el enlace:

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Los comentarios públicos se pueden recibir por correo electrónico, por teléfono o por zoom con un límite de 250 palabras o tres minutos:

En vivo:

Si participa en vivo a través de zoom o teléfono, durante el período de comentarios públicos, use la función "levantar la mano" en su computadora, o cuando use un teléfono, los participantes pueden levantar la mano presionando *9 en el teclado.

Por escrito:

Los comentarios escritos pueden enviarse a la comisión electrónicamente por correo electrónico a gperez@coachella.org. Se requiere la transmisión antes del inicio de la reunión. Todos los comentarios escritos recibidos serán enviados a la comisión e ingresados en el registro.

SI LO DESEA, PUEDE DEJAR UN MENSAJE EN EL (760) 398-3102, EXTENSIÓN 122, ANTES DE LAS 4:00 P.M. DEL DÍA DE LA REUNIÓN.

LLAMADO AL ORDEN:

JURAMENTO A LA BANDERA:

PASE DE LISTA:

ORDEN DEL DÍA ESPECIAL

APROBACIÓN DE LA AGENDA:

"En este momento, la Comisión puede anunciar cualquier punto que está siendo retirado de la agenda o continuado a otra fecha o solicitar el traslado de un punto de la agenda".

APROBACION DE LAS ACTAS:

1. Borrador de las Actas de la Comisión de Planificación – 26 de Octubre, 2022.

COMUNICACIONES ESCRITAS:

COMENTARIOS DEL PÚBLICO (PUNTOS QUE NO ESTÁN EN LA AGENDA):

"El público puede dirigirse a la Comisión sobre cualquier tema de interés para el público que no esté en la agenda, pero que esté dentro de la jurisdicción de la materia de la misma. Por favor limite sus comentarios a tres (3) minutos".

INFORMES Y SOLICITUDES:

PUNTOS QUE NO SON DE AUDIENCIA: HYPERLINK "appIS133cebbe275746d7b73d3f0ba51beb40"

CALENDARIO DE AUDIENCIAS PÚBLICAS (CUASI-JUDICIAL):

- El Permiso de Uso Condicional Núm. 358 y la Revisión Arquitectónica Núm. 15-12 (Enmienda) de Reconfiguración del "drive through" del restaurante McDonald's proponen una modificación a la configuración del "drive through" del restaurante McDonald's existente en 50090 Cesar Chavez Street para acomodar filas de vehículos adicionales. Solicitante: Sararee Jirattikanchote. Continuado desde el 2 de noviembre de 2022.
- 2. GPA Núm. 21-02 Consideración del Sexto Ciclo del Elemento de Vivienda de la ciudad de Coachella (Recomendación para continuar)

3. Permiso de Uso Condicional Núm. 357, una solicitud de Teddy Lee para la operación de una licencia de Vino y Cerveza Tipo 41 para un salón de vinos y cervezas con tostaduría de café en 1258 Sixth Street (APN# 778-110-003)

INFORMATIVO:

SE SUSPENDE LA SESIÓN:

Los paquetes completos de la agenda están disponibles para inspección pública en el Departamento de Servicios de Desarrollo en 53-990 Enterprise Way, Coachella, California, y en el sitio web de la ciudad www.coachella.org.

ESTA REUNIÓN ES ACCESIBLE PARA PERSONAS CON DISCAPACIDAD





Council Chambers, Hearing Room 1515 6th Street, Coachella, California (760) 398-3502 ◆ www.coachella.org

MINUTES

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

October 26, 2022 6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

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Item 1.

CALL TO ORDER: 6:06 P.M.

PLEDGE OF ALLEGIANCE:

Frank Figueroa

ROLL CALL:

Commissioner Present: Commissioner Gonzalez, Commissioner Figueroa, Alternate

Commissioner Gutierrez, Chair Virgen.

Commissioners Absent: Commissioner Leal, Vice Chair Navarrete.

Staff Present: *Gabriel Perez, Development Services Director.

*Jason Stevens, Information Technology Manager.

APPROVAL OF AGENDA:

"At this time the Commission may announce any items being pulled from the agenda or continued to another date or request the moving of an item on the agenda."

IT WAS MOVED BY COMISSIONER FIGUEROA AND SECOND BY COMMISSIONER GONZALEZ TO APPROVE THE AGENDA.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez

Chair Virgen.
NOES: None.
ABSTAIN: None.

ABSENT: Commissioner Leal, Vice Chair Navarrete.

APPROVAL OF THE MINUTES:

1. Draft Planning Commission Minutes – October 5, 2022

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER NAVARRETE TO APPROVE THE MINUTES.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Chair Virgen.

NOES: None.

ABSTAIN: Alternate Commissioner Gutierrez.

ABSENT: Commissioner Leal, Vice Chair Navarrete

WRITTEN COMMUNICATIONS:

None

Item 1.

"The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes."

REPORTS AND REQUESTS:

None.

NON-HEARING ITEMS:

2. Request for a Third 12-Month Time Extension for Architectural Review No. 19-02 to construct a new multi-tenant retail/office center consisting of two commercial buildings for a total of 22,300 sq. ft. on two vacant parcels of land totaling 1.9 acres in the C-G (General Commercial) zone located at the southeast corner of Valley Road and Cesar Chavez Street. (APN 778-280-001 & -002). Juan Carlos Guardado, Applicant.

Gabriel Perez, Development Services Director, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

Public Hearing Opened at 6:16 pm by Chair Virgen

Public Hearing Closed at 6:16 pm by Chair Virgen

IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECONDED BY COMMISSIONER FIGUEROA TO APPROVE THE THIRD AND LAST AVAILABLE 12-MONTH TIME EXTENSION FOR ARCHITECTUAL REVIEW NO. 19-02, MAKING THE NEW EXPIRATION DATE AUGUST 7, 2023.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez,

Chair Virgen. NOES: None. ABSTAIN: None.

ABSENT: Commissioner Leal, Vice Chair Navarrete.

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

3. Tripoli Mixed-Use Project (Proposed Revisions)

Amendments to Conditional Use Permit (CUP) 351 and Architectural Review (AR) 22-04 for the PUD (Planned Unit Development) Overlay Zone guidelines, design revisions and modifications to conditions of approval for a mixed-use development consisting of 108 apartment units and 2 retail units on 2.8 acres of vacant C-G (General Commercial) zoned property at the northeast corner of Cesar Chavez Street and Bagdad Avenue (APN# 778-081-003 and -001) Applicant: Chelsea Investment Corporation

Item 1.

Public Hearing Opened at 6:49 pm by Chair Virgen

Colleen Edwards, Chelsea Investment Corporation, made herself available for questions.

Nick Davis, Architect, made himself available for questions.

Public Hearing Closed at 7:51 pm by Chair Virgen

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER GONZALEZ TO ADOPT RESOLUTION NO. PC2022-24 RECOMMENDING THAT THE CITY COUNCIL APPROVE CONDITIONAL USE PERMIT (CUP) 351 AND ARCHITECTURAL REVIEW (AR) 22-04 WITH MODIFICATIONS TO CONDITIONS OF APPROVAL AS FOLLOWS:

General Conditions

- 8. Add 2 1 on-site parking spaces for van pools.
- 9. The applicant shall work with staff to accommodate an elevator for Building A and B if financing for elevator and supporting infrastructure can be identified and incorporated within the development timeframe for the project.
- 11. The applicant or successor in interest shall install "purple pipe" for a future tertiary water distribution system that would serve the irrigation needs of all common areas of the project including perimeter landscaping, entry features and median island planters, and retention basins, subject to review and approval by the City Engineer. The "purple pipe" water lines shall be installed along the entire Avenue 48 street frontage according to City standards.
- 14. All plans, as shown, are considered "conceptual," subject to revisions as called out by the conditions of this resolution. The plans shall not be stamp approved until all conditions requesting revisions have been satisfied during the building plan check process. Any substantial changes to the plans, including changes shown on future building permit plans deemed by Staff to not be within substantial conformance with this approval, will require an amendment to the approval of Architectural Review No. 21-04, including architectural features, materials, and site layout.

Architectural Design, Character and Massing

- 15. All first floor dwelling units **facing the public streets** shall have a **front door rear patio gate** accessible from the Bagdad Avenue, Tripoli Street and Cesar Chavez Street sidewalk areas, with a fenced and patio enclosure adjacent to the sidewalk.
- 17. Retail ceiling height shall be approximately 15 may be 9'-1" feet consistent with Pueblo Viejo Revitalization Plan Guidelines.
- 18. First floor residential level shall be 3 feet above sidewalk level for privacy consistent with the Pueblo Viejo Revitalization Plan Guidelines.

- 19. Utilize two piece clay tile roofing with booster tiles on the edges and random mortar packing. The mortar shall packed on 100 percent of the tiles in the first two rows of tiles and along any rake and ridgeline, and packed on 25 percent of the tiles on the remaining field. Mortar packing shall serve as a bird stop at roof edges, The volume of mortar pack to achieve the appropriate thickness shall be equivalent to a 6 inch diameter sphere of mortar applied to reach tile. If the aforementioned roof treatment consistent with Spanish Colonial Revival is demonstrated to be infeasible for the development, the applicant shall propose roofing provides the appearance of Spanish Colonial Revival architecture as demonstrated with boosted roof tiles and mortar packing at roof edges, roof ridges and at boosted tiles to the satisfaction of the Development Services Director. Applicant may use blended concrete tile for the appearance of Spanish Colonial Revival architecture.
- 20. Stucco walls shall may consist of a 60/40 sand 'steel, hand trowel', smooth Mission finish and slight undulations (applied during brown coat) and bull-nose corners and edges.

Public Realm/Streetscape

- 24. The sidewalks along Cesar Chavez Street shall be expanded to provide access **and seating** into the ground floor units—commercial spaces with an urban character, and reduced perimeter planter areas, including adjacent to the building edge. Residential units shall provide a new access to the existing sidewalk.
- 25. Planters with tree grates shall be installed every 17-25 feet and planted with shade trees adjacent to the Cesar Chavez Street to create a separation between the street and pedestrian traffic to the satisfaction of the City Engineer and Development Services Director.
- 45. Provide and record a reciprocal use and maintenance agreement to assure common ingress and egress and joint maintenance of all common access, parking areas and drives.

52. Provide a set of proposed Covenants, Conditions and Restrictions (CC&R) for review and approval. The proposed CC&Rs shall contain the Association's/Owner's maintenance obligations with respect to various facilities including, but not limited to, right-of-way and private landscaping, private streets, sidewalks, utilities, street lights, and Water Quality Management Plan (WQMP) features. The City of Coachella shall be listed as an express third party beneficiary and be reviewed and approved by the City Attorney's office prior to recordation. This document must be submitted to and approved by the City before it is submitted to any other governmental entity.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Chair Virgen.

NOES: None. ABSTAIN: None.

ABSENT: Commissioner Leal, Vice Chair Navarrete.

INFORMATIONAL:

ADJOURNMENT: 7:25 P.M.

Respectfully Submitted by,

Gabriel Perez

Planning Commission Secretary

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MINUTES

OF A REGULAR MEETING
OF THE
CITY OF COACHELLA
PLANNING COMMISSION

November 2, 2022 6:00 PM

PURSUANT ASSEMBLY BILL 361, ALONG WITH THE GOVERNOR'S STATE OF EMERGENCY DECLARATION ISSUED ON MARCH 4, 2020, THIS MEETING MAY BE CONDUCTED VIA TELECONFERENCE.

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Minutes

Planning Commission

November 2 ltem 1.

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IF YOU WISH, YOU MAY LEAVE A MESSAGE AT (760) 398-3102, EXTENSION 122, BEFORE 4:00 P.M. ON THE DAY OF THE MEETING.

CALL TO ORDER: 6:01 P.M.

PLEDGE OF ALLEGIANCE:

Vice Chair Navarrete

ROLL CALL:

Commissioner Present: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner

Gutierrez, Vice Chair Navarrete.

Commissioner Figueroa participated at the start of the meeting via Zoom and

joined the meeting in-person at 6:03 P.M.

Commissioners Absent: Commissioner Leal, Chair Virgen.

Staff Present: *Gabriel Perez, Development Services Director.

*Jesus Medina, Information Technology Tech.

APPROVAL OF AGENDA:

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IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECOND BY VICE CHAIR NAVARRETTE TO APPROVE THE AGENDA.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Alternate Commissioner Gutierrez, Commissioner Figueroa, Vice Chair

Navarrete. NOES: None.

ABSTAIN: Commissioner Leal.

ABSENT: Chair Virgen.

APPROVAL OF THE MINUTES:

Draft Planning Commission Minutes – None.

WRITTEN COMMUNICATIONS:

None.

PUBLIC COMMENTS (NON-AGENDA ITEMS):

Minutes Page 3

Planning Commission

"The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to three (3) minutes."

REPORTS AND REQUESTS:

None.

NON-HEARING ITEMS:

None.

PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):

1. Church of the Americas Conditional Use Permit 356 to allow a Church in an existing 2,760 sq. ft. commercial building on a 0.17- acre property at 51678 Cesar Chavez Street (APN 778-131-004).

Eva Lara, Planning Technician, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

Public Hearing Opened at 6:20 pm by Vice Chair Navarrete.

Werclein Aguilar, Applicant made himself available for questions.

Public Hearing Closed at 6:23 pm by Vice Chair Navarrete.

IT WAS MOVED BY COMMISSIONER GONZALEZ AND SECONDED BY COMMISSIONER FIGUEROA TO ADOPT RESOLUTION NO. PC 2022-25 APPROVING CONDITIONAL USE PERMIT NO. 356 WITH THE FINDINGS AND CONDITIONS OF APPROVAL. COMMISSIONER FIGUEROA MOVED TO AMEND COMMISSIONER GONZALEZ'S MOTION AND WAS SECONDED BY ALTERNATE COMMISSIONER GUTIERREZ TO INCLUDE THE FOLLOWING MODIFICATIONS TO THE CONDITIONS OF APPROVAL:

- 1. Approval of Conditional Use Permit 356 shall be for the purpose of a maximum 2,760 square feet within the existing building located at 51678 Cesar Chavez Street. Any expansion in the floor area dedicated to the congregating area or increase in the size of the congregation beyond 15 people will require review and approval by the Planning Commission Development Service Director.
- 11. Prior to occupancy, parking lighting is required and shall be installed to ensure safety to the satisfaction of the Development Service Director. The applicant has six (6) months after CUP issuance to install appropriate parking lighting.

Both the amended motion and the motion of approval of the project was approved by the following roll call vote: AYES: Commissioner Gonzalez, Commissioner Figueroa, Alternate Commissioner Gutierrez, Commissioner Leal, Vice Chair Navarrete.

NOES: None. ABSTAIN: None.

ABSENT: Chair Virgen.

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Planning Commission

2. McDonald's Restaurant Drive Through Reconfiguration (Continuance Requested) Conditional Use Permit No. 358 and Amendment to Architectural Review No. 15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G (General Commercial) zone. Sararee Jirattikanchote (Applicant).

Gabriel Perez, Development Services Director, narrated a power point presentation for the item. A copy of the presentation is on file in the Planning Division.

IT WAS MOVED BY COMMISSIONER FIGUEROA AND SECONDED BY COMMISSIONER GONZALEZ TO APPROVE THE CONTINUATION OF ITEM NUMBER TWO (2) FOR THE NEXT PLANNING COMMISSION MEETING ON NOVEMBER 16, 2022.

Approved by the following roll call vote:

AYES: Commissioner Gonzalez, Commissioner Figueroa, Commissioner Leal, Alternate Commissioner

Gutierrez, Vice Chair Navarrete.

NOES: None. ABSTAIN: None.

ABSENT: Chair Virgen.

Public Hearing Opened at 6:38 pm by Vice Chair Navarrete.

Public Hearing Closed at 6:38 pm by Vice Chair Navarrete.

INFORMATIONAL:

- KPC master plan community submitted an application proposed at the Northeast end of the city for a 2,800-acre mixed-use specific plan.
- Tripoli Mix-Use Project will go to Council meeting next week and Planning Commission's recommendation will be presented to them.
- We are reviewing proposal for Architects that submitted for the Request for Proposal for pre-approved accessory dwelling unit plans.
- Report on reconsideration request by the City of Coachella to LAFCO.
- 112 single-family lot subdivision was submitted this week for 19 acres on Van Buren St. South of Coral Mountain Academy.
- Aldi supermarket project under construction.
- The Coachella Fire House Bar and Grill to open during the week.

ADJOURNMENT: 6:49 P.M.
Respectfully Submitted by,
Gabriel Perez
Planning Commission Secretary

Minutes Page 5

Planning Commission

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THIS MEETING IS ACCESSIBLE TO PERSONS WITH DISABILITIES



STAFF REPORT 11/16/2022

To: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: McDonald's Restaurant Drive Through Reconfiguration

SPECIFICS: Conditional Use Permit No. 358 and Amendment to Architectural Review No.

15-12 to reconfigure the drive through for an existing 3,854 square foot restaurant in an existing commercial center located at 50090 Cesar Chavez Street in the C-G

(General Commercial) zone. Sararee Jirattikanchote (Applicant)

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. PC 2022-26 approving Conditional Use Permit (CUP) No. 358 and amendment to Architectural Review No. 15-12 at the McDonald's restaurant located at 50090 Cesar Chavez Street pursuant to the findings and conditions of approval contained in the attached resolution.

BACKGROUND:

The existing 3,584 sq. ft. McDonald's Restaurant currently operates with a drive-thru located on one 0.83-acre parcel of land that is part of a larger commercial center, Fountainhead Plaza, within the C-G (General Commercial) Zone. The restaurant was first approved with a drive-thru lane in the shape of a horseshoe looping around the building by the Planning Commission on May 7, 2008. On December 16, 2015, the Planning Commission considered and approved Architectural Review No. 15-12 for a dual drive through lane that eliminated the horseshoe shape where customers can place their orders in two vehicles at a time, which was intended to improve vehicle circulation and service for McDonald's customers. The existing drive through configuration accommodates the existing outdoor dining patio on the south side of the building and replaces portion of the original drive-thru lane.

Staff observed that the drive through reconfiguration has resulted in negative impacts to circulation within the commercial center, where queuing vehicles were seen queuing beyond the dual drive through lanes and into the main commercial center drive aisle. Conflicts were observed between vehicles attempting to queue into the drive through from the main commercial center drive aisle and the drive aisle within the existing McDonald's restaurant pad. Chapter 17.26 (C-G General Commercial Zone) of the Coachella Municipal Code requires a Conditional Use Permit for all fast food establishments. The photo below shows an interim measure the owner has taken to help control the flow of vehicles queuing into the drive through lane and avoid traffic conflicts within

the commercial center. A permanent solution for the drive through is necessary to improve aesthetics and to make project findings that it can be operated and maintained to be compatible with the intended character of the general vicinity and not have a harmful effect upon desirable neighborhood character.

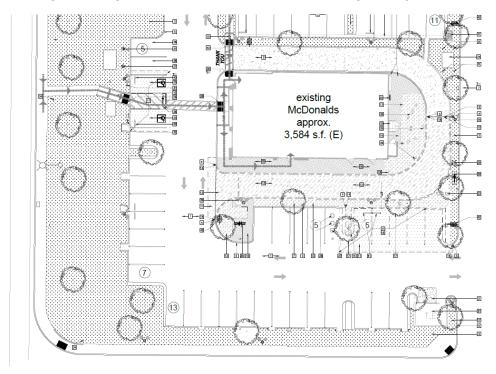


Figure 1: Original McDonald's Restaurant drive through configuration

DISCUSSION/ANALYSIS:

Environmental Setting:

The applicant, Sararee Jirattikanchote, submitted a request for a CUP to reconfigure the existing McDonald's restaurant drive through to improve vehicle circulation at the McDonald's restaurant and within the Fountainhead Plaza commercial center. The zoning designation of the commercial center is C-G (General Commercial). The existing commercial center consists of a Walgreens Pharmacy, a McDonald's Restaurant, Taco Bell Restaurant, and a newly constructed Starbucks. Aldi supermarket is under construction within the center. On-site circulation will be improved by extending the length of the drive through lane to accommodate more queuing vehicles while still accommodating dual drive through for ordering. The applicant does not propose to modify the drive through lane to the original configuration, which would require the elimination of the outdoor dining area.

Surrounding land uses and zoning classifications include the following:

North: Existing Walgreens Pharmacy and Taco Bell (C-G, General Commercial).

South: Starbucks (C-G, General Commercial).

East: Vacant commercial land and non-conforming industrial uses (C-G, General

Commercial).

West: Existing commercial development across Cesar Chavez Street (C-G,

General Commercial).

Circulation and Parking:

Access to the site is provided by five existing driveways, three from Cesar Chavez Street, one from Leoco lane, and another from First Street. The applicant proposes to begin a singular drive through lane along the southerly portion of the McDonald's pad, which turns northerly and opens into two dual drive through lanes for ordering purposes. The new drive through configuration would accommodate up to 15 vehicles. The extended drive through lane is proposed to be bordered top the north by striped delineators rather than a raised curb with landscaping. The new drive through lane would close existing access to vehicles in the main commercial center drive aisle and instead require them to circulate to the McDonald's pad from the more northerly access drive aisle. Two points of vehicular access are required and therefore a new exiting access point is proposed at a southerly point at the McDonald's pad, which exits into the main drive aisle to exit onto Cesar Chavez Street.

The McDonald's pad currently provides for 41 parking spaces, which is above the minimum requirement of 24 parking spaces or a surplus of 17 parking spaces. The applicant proposes to remove 15 parking spaces in total, which includes removal of 13 southerly parking spaces to accommodate the expanded drive through lane and removal of two parking spaces north of the McDonald's building to accommodate the relocated trash enclosure. The removal of the 15 parking spaces would result in a surplus of two on-site parking spaces. A reciprocal access agreement exists between McDonald's and Taco Bell and therefore parking impacts are not anticipated with the proposed drive through reconfiguration. The proposed project is conditioned to prepare and submit plans to the Riverside County Fire Department for approval of a site plan designating required fire lanes with appropriate lane painting and/or signs due to the minor on-site circulation result.

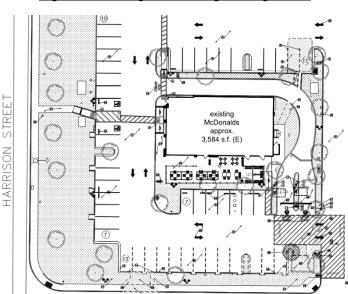


Figure 2: Existing drive through configuration

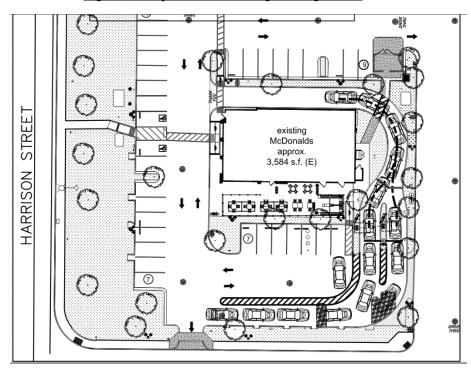


Figure 3: Proposed drive through configuration

Landscaping

The existing landscape area maintenance responsibilities for the McDonald's restaurant pad belong to McDonald's restaurant ownership and not Fountainhead Development. Staff observed that the existing landscaping consisting of groundcover, shrubs, and trees are not well maintained and shrubs and trees were observed to be missing. Staff also observed that the landscape irrigation is not properly maintained as flooding was observed in portions of the landscape areas. Landscape areas would be expanded with the new drive through configuration but no landscape plan has been presented at this time. A condition of approval has been added to the approving resolution to require submittal of a final landscape plan, that existing landscaping be refreshed, and that the owned enter into a landscape maintenance agreement with the City to ensure landscape areas are maintained in a first class condition and that debris is regularly removed.

ENVIRONMENTAL REVIEW:

The City of Coachella has determined that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a "Replacement or Reconstruction" project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

CONCLUSIONS AND RECOMMENDATIONS

Based on the analysis contained herein and the findings listed below, staff is recommending that the Planning Commission approve Conditional Use Permit No. 358 and amendment to

Architectural Review No. 15-12 with the findings and conditions listed in Resolution No. PC 2022-26, and in the attached resolution. Additional alternatives are listed below for the Planning Commission.

ALTERNATIVES:

- 1) Adopt Resolution No. PC 2022-26 recommending that the City Council approve CUP 358 and Architectural Review No. 15-12 with the findings and conditions as recommended by Staff.
- 2) Deny Resolution No. PC 2022-26 and maintain existing drive through condition.
- 3) Continue this item and provide staff and the applicant with direction.

RECOMMENDED ALTERNATIVE(S):

Staff recommends alternative #1.

Attachments:

- 1. Resolution No. PC 2022-26 Exhibit A Conditions of Approval
- 2. Vicinity Map3. Proposed Site Plan
- 4. Landscape Plan (2015) for AR No. 15-12
- 5. Existing Conditions Photos

RESOLUTION NO. PC 2022-26

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COACHELLA, CALIFORNIA APPROVING CONDITIONAL USE PERMIT NO. 358 AND AMENDMENT TO ARCHITECTURAL REVIEW NO. 15-12 FOR A MODIFICATION TO THE EXISTING MCDONALD'S RESTAURANT DRIVE THROUGH TO ACCOMMODATE ADDITIONAL VEHICLE QUEUING LOCATED ON .83 ACRES AT 50090 CESAR CHAVEZ STREET, SARAREE JIRATTIKANCHOTE, APPLICANT.

WHEREAS, Sararee Jirattikanchote filed an application for Conditional Use Permit No. 358 (CUP 358) and amendment to Architectural Review (AR) No. 15-12 to reconfigure an existing McDonald's restaurant drive through in an existing commercial center located at 50090 Cesar Chavez Street; and,

WHEREAS, the Planning Commission conducted a duly noticed public hearing on CUP No. 358 and AR No. 15-12 on November 2, 2022 at the City of Coachella City Hall Council Chambers, 1515 Sixth Street, Coachella, California regarding the proposed Project; and,

WHEREAS, at the Planning Commission hearing, the Applicant and members of the public were present and were afforded an opportunity to testify regarding the Project; and.

WHEREAS, the Project is permitted pursuant to Chapter 17.74 (Conditional Uses) of the Coachella Municipal Code.

WHEREAS, the proposed use is necessary or desirable for the development of the community, is consistent with the objectives of the City's General Plan, and is not detrimental to the existing uses or the uses specifically permitted in the zone in which the proposed use is to be located; and,

WHEREAS, the proposed site is adequate in size and shape to accommodate the proposed restaurant traffic and parking; and,

WHEREAS, the site for proposed use relates properly to streets which are designed to carry the type and quantity of traffic to be generated by the proposed use; and,

WHEREAS, The City of Coachella has determined that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a "Replacement or Reconstruction" project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.; and,

WHEREAS, the conditions as stipulated by the City are necessary to protect the

public health, safety and welfare of the community.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Coachella, California does hereby approve Conditional Use Permit No. 358, subject to the findings and conditions of approval listed below.

Section 1. Incorporation of Recitals

The Planning Commission hereby finds that all of the facts in the Recitals are true and correct and are incorporated and adopted as findings of the Planning Commission as fully set forth in this resolution.

Section 2. CEQA Findings

Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a "Replacement or Reconstruction" project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

Section 4. Conditional Use Permit Findings

With respect to Conditional Use Permit No. 358, the Planning Commission finds as follows for the proposed freestanding sign request:

- 1. The proposed use will not be in conflict with, but will be in harmony with and in accordance with the objectives of the general plan except as recognized that the project has vested rights as to the existing drive-thru lane for the restaurants as it was approved prior to the new General Plan being adopted. The site has a General Commercial (C-G) land use designation that allows for quick-serve restaurants with a drive-thru subject to Conditional Use Permit approval which is the underlying entitlement for the existing McDonald's Restaurant.
- 2. The proposed use will be located, designed, constructed, operated and maintained so as to be compatible with the existing character of the general vicinity and shall not change the essential character of the same area because the proposed use is within a zoning designation of 'C-G' (General Commercial) which permits restaurant uses. The proposed use in an existing commercial shopping center and has operated as a restaurant for several years with adjoining commercial uses. The conditional use permit can be revoked if any of the conditions of approval are violated.
- 3. Consideration has been given to harmony in scale, bulk, coverage and density, to the

23

availability of public facilities and utilities, to harmful effect, if any, upon desirable neighborhood character, to the generation of traffic and the capacity of surrounding streets, and to any other relevant impact of development, because the existing commercial tenant space is within an existing commercial building with all infrastructure available on-site for the existing restaurant. Due to the location within an existing shopping center parking is existing within the center and the subject pad has been occupied by the existing restaurant building. The proposed drive through reconfiguration would remove 15 parking spaces but would result in a parking surplus of two spaces pursuant to the Coachella Municipal Code Parking Ordinance. Traffic impacts were evaluated in relation to the environmental review of the existing shopping center upon original approval.

- 4. Where the proposed use may be potentially hazardous or disturbing to existing or reasonably expected neighboring uses, it must be justified by the common public interest as a benefit to the community as a whole. As conditioned, the proposed use will:
 - Provide for drive through fast food establishment sales with a drive through configuration that will avoid traffic back-ups and conflicts.
 - The owner is responsible for making site modifications if there are observed problems with the new drive through configuration.
 - Landscape areas will be rehabilitated to comply with Zoning Ordinance requirements and a landscape agreement will be entered into with the City of Coachella to ensure landscape maintenance occurs in a first class condition.
- 5. The proposed use provides vehicular approaches to the property designed for reasonable minimal interference with traffic on surrounding public streets or roads. Vehicular approaches already exist within the shopping center from Cesar Chavez, First Street and Oates Lane and are sufficient to serve the subject building pad and restaurant use.
- 6. Based upon its review of the entire record, including the Staff Report, any public comments or testimony presented to the Planning Commission, and the facts outlined below, the Planning Commission hereby finds and determines that the proposed project is categorically exempt from environmental review pursuant to the guidelines of the California Environmental Quality Act as a "Replacement or Reconstruction" project (CEQA Guidelines, Section 15303) as the project would replace existing drive through facilities on the same site where existing drive through facilities currently exist. The subject site is .83 acres having reciprocal access and combined street frontage within the Fountainhead Plaza commercial center.

Section 4. Architectural Review Findings.

With respect to the amendment to Architectural Review No. 15-12, the Planning Commission finds as follows for the proposed freestanding sign request:

1. Compatibility with neighboring property. The existing condition of the McDonald's drive through results in negative traffic impacts to neighboring properties and the interim modification has resulted in negative aesthetics for the commercial center. The proposed drive through reconfiguration would result in positive traffic impacts

to neighboring properties

Gabriel Perez

Planning Commission Secretary

- 2. The Zoning Ordinance development standards allows for drive through establishments with the approval of a conditional use permit.
- 3. The proposed sign would not impact traffic congestion as the proposed drive through configuration would accommodate queuing vehicles and prevent vehicle back-ups that may affect circulation within the commercial center and public streets.
- 4. That approval of the Architectural Review No. 15-12 will not adversely effect any element of the general plan as the general plan does no prescribe sign standards or appearance.

Section 5. Planning Commission Approval;

Based on the foregoing recitals and findings above, and the written and oral comments, facts and evidence presented, the City of Coachella Planning Commission approves Conditional Use Permit No. 358 and Architectural Review No. 15-12 project subject to and amended by conditions of approval in "Exhibit A."

PASSED APPROVED and ADOPTED this 16th day of November 2022 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Stephanie Virgen
Planning Commission Chairperson

ATTEST:

APPROVI	CD AS TO	FORM.

Carlos Campos City Attorney

STATE OF CALIFORNIA) COUNTY OF RIVERSIDE) ss. CITY OF COACHELLA)
I HEREBY CERTIFY that the foregoing Resolution No. PC2022-26 was duly adopted by the Planning Commission of the City of Coachella at a regular meeting thereof held on this 16 th day of November 2022 by the following vote of the Planning Commission:
AYES:
NOES:
ABSENT:
ABSTAIN:
Gabriel Perez Planning Commission Secretary

Exhibit A - Resolution No. PC2022-26 CONDITIONS OF APPROVAL CONDITIONAL USE PERMIT 358 AND AMENDMENT TO ARCHITECTURAL REVIEW NO. 15-12

General Conditions

- The conditional use permit and architectural review shall expire and shall become void one
 year following the date on which the conditional use became effective, unless prior to the
 expiration of one year a building permit is issued and construction is commenced and
 diligently pursued toward completion, or a certificate of occupancy is issued. Violation of
 any of the conditions of approval shall be cause for revocation of the Conditional Use Permit
 and Architectural Review.
- 2. The applicant shall defend, indemnify and hold harmless the City of Coachella, its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City, its officials, officers, employees or agents to attack, set aside, void or annul any project approval or condition of approval of the city concerning this project, including but not limited to any approval or condition of approval or mitigation measure imposed by the City Council or Planning Commission. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees and agents in the defense of the City Attorney, within five days of the effective date of this approval.
- 3. Within five business days of project approval, the applicant shall submit to the Planning Division a check made payable to the County of Riverside in the amount of \$50 for filing the CEQA Notice.
- 4. The construction shall be in conformance with the plans submitted and conditions imposed herein for Conditional Use Permit. This shall include the materials and colors as shown on the approved plans.
- 5. The project shall comply with all applicable codes, laws and regulations, regardless of whether they are listed in these conditions. This includes conformance with the requirements of the adopted California Building Codes and related ordinances, including all requirements of the South Coast Air Quality Management District, the Riverside County Fire Department and any requirements by any other agency having jurisdiction on the project.
- 6. If determined by the City Engineer that the new drive through configuration under Conditional Use Permit No. 358 results in a negative traffic impact within the commercial center, the applicant/owner shall be responsible to make temporary adjustment or construct permanent site modifications as deemed necessary by the City Engineer to ensure that the

Conditional Use Permit findings can be made that avoid a harmful effect on the neighboring uses and to vehicular traffic within the commercial center and an public streets.

Project Design:

- 7. Prior to the issuance of building permits, all exterior architectural features and treatments shall be consistent with the submitted Architectural Review No. 15-12.
- 8. Applicant shall use BMPs to prevent construction waste from entering storm and sewer system.
- 9. Prepare and submit plans to the Riverside County Fire Department for approval of a site plan designating required fire lanes with appropriate lane painting and/or signs due to the minor on-site circulation result.

Landscaping

- 10. Final landscaping and irrigation plans shall be submitted to the Development Services Department for review and approval to include new landscape areas. Said plans shall conform to the landscaping plan submitted as part of the subject Architectural Review, and as conditioned herein.
- 11. Landscaping and irrigation shall be provided in accordance with Section 17.54.010(J) of the Municipal Code and in accordance with the State Model Water Efficient Landscape Ordinance (AB 1881). Water budget calculations, including the Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU) shall be provided as part of the landscaping and irrigation plan.
- 12. Any damaged, dead or decayed landscaping landscape areas shall be replaced per approved landscape plans upon landscape inspection by the Development Services Department and prior to issuance of a certificate of occupancy.
- 13. Add ¾ inch decorative gravel for all landscape areas once covered with decomposed granite to match common area landscaping along southerly portion of the Fountainhead Plaza. Existing decomposed granite areas are in deteriorated condition.
- 14. The site landscaping shall be maintained in good condition at all times, and the owner or operator of the facility shall be responsible for replacing any damaged, dead or decayed landscaping as soon as practicable, and in accordance with the approved landscape plan.
- 15. The owner shall enter into a landscape and site maintenance agreement to include private landscaping, private streets, sidewalks and street lights. This document must be submitted to and approved by the City before issuance of permits related to the reconfigured drive through. The agreement shall be reviewed and approved by the City Attorney's office prior to recordation.

Item 3.

16. A small landscape strip with curbing shall be installed adjacent to the trash enclosure to buffer the parking stall to avoid conflicts with opening doors and to accommodate landscape vines.

PRIOR TO APPROVAL OF ENGINEERING PLANS OF ISSUANCE OF ENGINEERING PERMITS:

ENGINEERING GRADING AND DRAINAGE:

- 17. A precise grading/improvement plan, prepared by a California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. A final soils report, compaction report and rough grading certificate shall be submitted and approved prior to issuance of any building permits.
- 18. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
- 19. Applicant shall obtain approval of site access and circulation from Fire Marshall.
- 20. Applicant shall provide public utilities easement for existing drain lines.

PAVEMENT IMPROVEMENTS:

- 21. Applicant shall construct all off-site and on-site improvements including street pavement, curb, gutter, sidewalk, street trees, perimeter walls, perimeter landscaping and irrigation, storm drain, street lights, and any other incidental works necessary to complete the improvements. Driveways and drive aisles shall conform to City of Coachella standards for commercial driveways with a minimum width of 24.00 for two way traffic and a minimum of 14 feet for one way traffic with curbed radius entrances/exits.
- 22. Applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.

GENERAL:

- 23. The applicant shall pay all necessary plan check, permit and inspection fees. Fees will be determined when plans are submitted to the City Engineering Department for plan check.
- 24. Applicant shall repair any damage sidewalk along Harrison Street.

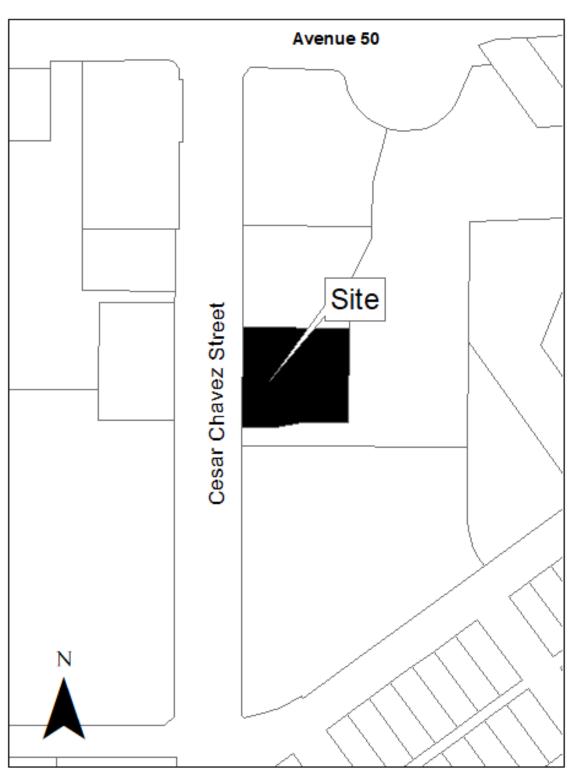
COMPLETION:

25. "As-built" plans shall be submitted to and approved by the City Engineer. Prior to acceptance of the improvements by the City, such plans, once approved, shall be given to the city on compact disk in AutoCad format. All off-site and on-site improvements shall be completed

Item 3.

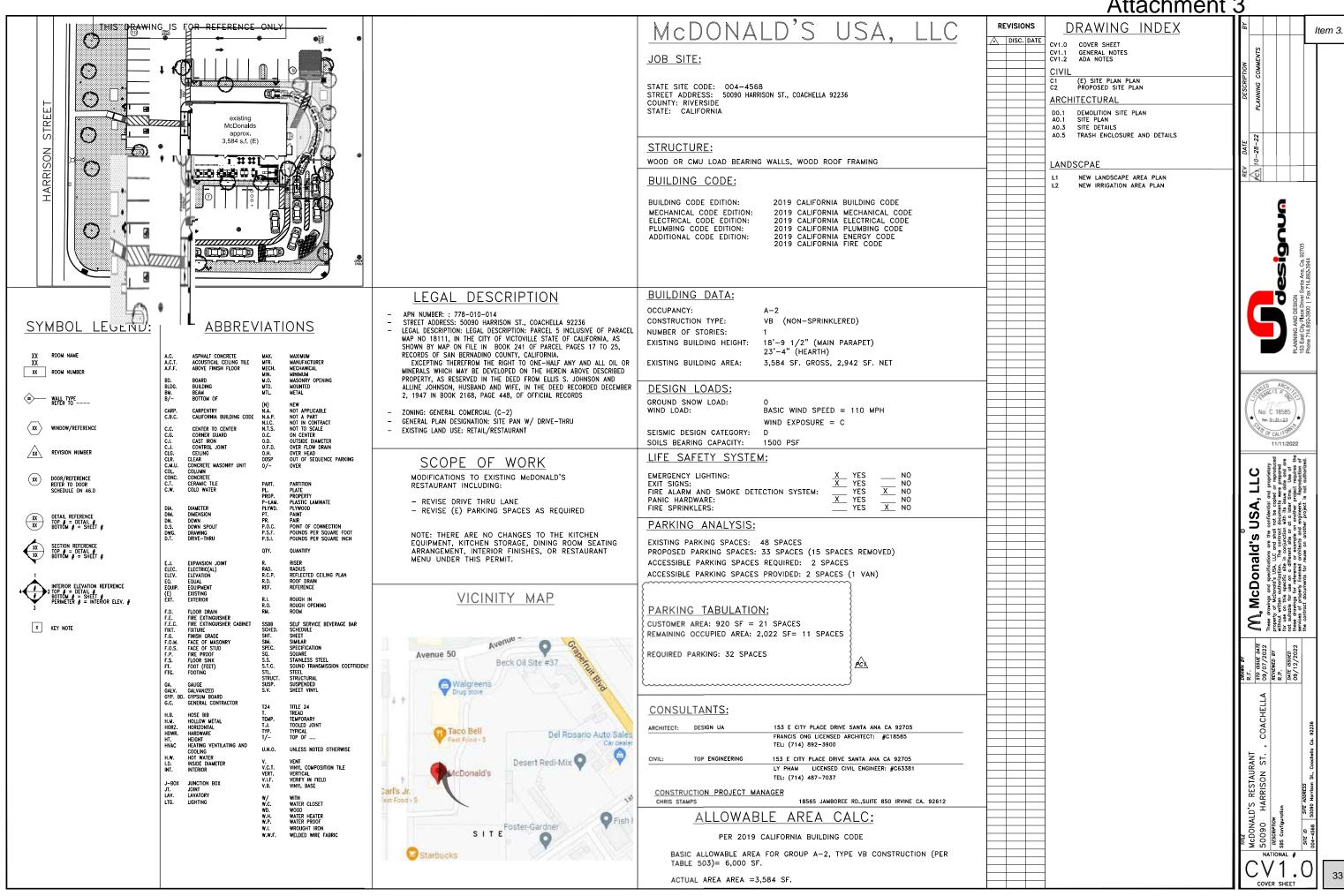
to the satisfaction of the City Engineer prior to acceptance of improvements for maintenance by the City.

Item 3.



Vicinity Map

Attachment 3



SECTION A - GENERAL

- A-1 ALL WORK SHALL CONFORM TO 2019 CBC, CHAPTER 11-B, AND SHALL BE ACCESSIBLE TO, AND USABLE BY, THE PHYSICALLY HANDICAPPED AS REQUIRED BY ALL APPLICABLE CODES AND CALIFORNIA TITLE 24, INCLUDING ANY SPECIAL LOCAL ORDINANCES LOCAL ORDINANCES.
- A-2 ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2019 C.B.C. AND ALL OTHER GOVERNING AUTHORITIES HAVING JURISDICTION.
- A-3 THE PERMIT IN CONNECTION WITH THIS APPLICATION IS FOR EXTERIOR BUILDING FACELIFT AND MAJOR COMPONENTS INCLUDING;
 - A. STRUCTURAL FRAME, INCLUDING WOOD FRAMING, AND CONCRETE.
 B. EXTERIOR FINISH ELEMENTS INCLUDING PLASTER AND GLAZING.
 C. SEPARATE PERMITS ARE REQUIRED FOR SIGNS, FENCES, RETAINING WALLS
 AND PARRING LOT LIGHT STANDARDS AS APPLICABLE.
- A-4 OBTAIN APPROPRIATE APPROVALS AND PERMITS FROM CITY ENGINEERING
- A=5 CONTRACT DRAWINGS AND SPECIFICATIONS ARE MUTUALLY INCLUSIVE AND WHAT CONTROL BY ONE IS REQUIRED BY THE OTHER. THERE IS NO PRECEDENCE INTENDED OR MIPLED BETWEEN DRAWINGS AND SPECIFICATIONS AND IN THE EVENT OF A CONFLICT, THE ARCHITECT WILL BE THE INTERPRETER. ANY WORK INSTALLED PRIOR TO AND/OR IN CONFLICT WITH SLICH INTERPRETATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- A-6 THE FOLLOWING DOCUMENTS WERE PREPARED BY OUTSIDE CONSULTANTS UNDER THE DIRECTION OF DESIGN UA. THESE DOCUMENTS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DOCUMENTS, AND WITH THE ARCHITECTURAL DOCUMENTS MAY BE COLLECTIVELY IDENTIFIED AS DESIGN UA DOCUMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH ARCHITECTURAL DOCUMENTS AND OTHER DESIGN UA DOCUMENTS BEFORE PROCEEDING WITH INSTALLATION OF ANY WORK. ANY DISCREPANCY BETWEEN ARCHITECTURAL DOCUMENTS, AND ANY OTHER DESIGN UA DOCUMENTS, SHAL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK.

- A-7 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE OWNER'S CONSULTANTS' DOCUMENTS AND DESIGN UA DOCUMENTS BEFORE PROCEEDING WITH INSTALLATION OF ANY WORK. ANY DISCREPANCY BETWEEN OWNER'S CONSULTANTS' DOCUMENTS AND ANY OTHER DESIGN UA DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION AND SMALL BE BROOMED TO THE ARCHITECTS ATTENTION FOR CLARIFICATION AND ANY WORK INSTALLED PRIOR TO, AND/OR IN CONFLICT WITH SUCH CLARIFICATION, SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- A-8 THE FOLLOWING PORTIONS OF THIS PROJECT ARE "DESIGN—BUILD" CONTRACTS NOT INCLUDED IN DESIGN UA SCOPE OF WORK, DESIGN—BUILD PORTIONS OF THE PROJECT ARE:

TRELLIS SYSTEM

CONTRACT DOCUMENTS FOR DESIGN-BUILD PORTIONS OF THIS PROJECT WILL BE PREPARED AND SUBMITTED TO DESIGN UA FOR REVIEW AND COMMENT WITH RECARD TO THE INTEGRATION AND COMPATIBILITY OF THOSE PORTIONS OF THE WORK WITH THE REMAINDER OF THE PROJECT.

- WORK WITH THE REMAINDER OF THE PROJECT.

 A-9 ALL CRITERIA FOR THE DESIGN OF THE SYSTEMS LISTED BELOW AND ALL RELATED FRAMING AS SHOWN OR SPECIFIED IS FOR THE PURPOSE OF DEFINING THE DESIGN INTENT AND PERFORMANCE REQUIREMENTS ONLY, MAJOR COMPONENTS INCLUDED IN THIS "PERFORMANCE PACKAGE" INCLUDED THE FOLLOWING: ALUMINUM WINDOWS, GLASS AND GLAZING, COLD—FORMED METAL FRAMING, PLASTER, HOLLOW METAL DOORS AND FRAMES. DETAILS SHOWN ARE INTENDED TO EMPHASIZE PREFERRED PROFILES ONLY. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF COMPLETE SELF—DRAINING, WATERTIGHT AND STRUCTURALLY SOUND SYSTEMS. APPROVAL OF EACH SYSTEM IS DEFERRED UNTIL SUCH TIME AS THE CONTRACTOR SUBMITS PLANS AND STRUCTURAL CALCULATIONS TO THE BUILDING DEPARTMENT FOR PLAN CHECK AND APPROVAL. APPROVAL BY ARCHITECHT/ENGINEER IS REQUIRED PRIOR TO SUBMITTING TO BUILDING DEPARTMENT. CHANGES REQUIRED BY BUILDING DEPARTMENT WILL BE INCLUDED IN THE WORK AT NO ADDITIONAL COST TO OWNER.
- DESIGN-BUILD DOCUMENTS ARE SUPPLEMENTARY TO DESIGN UA DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH DESIGN UA DOCUMENTS BEFORE THE INSTALLATION OF DESIGN-BUILD WORK. ANY DISCREPANCY BETWEEN THE DESIGN UA DOCUMENTS AND THE DESIGN-BUILD DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED WITHOUT FIRST OBTAINING SUCH CLARIFICATION. ANY WORK INSTALLED WITHOUT FIRST HIS OWN EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- A-11 IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD
 BEFORE PROCEEDING WITH SUBSCUPINT WORK, ANY DISCREPANCIES BETWEEN
 CONDITIONS INDICATED, AND ACTUAL FIELD CONDITIONS, SHALL BE BROUGHT
 THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING, ANY WORK INSTALLED PRIOR TO AND/OR IN CONFLICT WITH SUCH CLARIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- $\mbox{A--}12$ dimension lines for dimensions on architectural drawings shall be interpreted as follows:
 - A. BUILDING SHELL FACE OF CONCRETE, CONCRETE MASONRY UNIT, FRAMING, OR CENTERLINE OF COLUMN.
 - B. INTERIOR PARTITIONS FACE OF FINISH
 - C. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED.
 - CEILING HEIGHT DIMENSIONS ARE FINISHED SURFACES UNLESS OTHERWISE NOTED.
- A=13 ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. ANY QUESTIONS REGARDING THE EXACT MEANING OF A SYMBOL OR ABBREVIATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
- A-14 DETAILS MARKED "TYPICAL" OR 'TYP, SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- A-15 SUBMIT SHOP DRAWING FOR APPROVAL PRIOR TO FABRICATION.
- A-16 NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL
- A-17 IF APPLICABLE; THE SOILS ENGINEER AND THE CIVIL ENGINEER SHALL CERTIFY THE BUILDING PAD PRIOR TO ISSUANCE OF BUILDING PERMIT
- A-18 THE SOILS ENGINEER SHALL REVIEW CONTRACT DOCUMENTS AND FURNISH A REPORT INDICATING CONDITIONS WHICH ARE NOT IN COMPLIANCE WITH RECOMMENDATIONS CONTAINED IN THE SAID REPORT.

- A-19 PROVIDE PEDESTRIAN PROTECTION AS REQUIRED BY CBC SECTIONS
- A-20 GENERAL CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION THRU ALI PHASES OF THE WORK AS NECESSARY AND REQUIRED BY THE LOCAL
- A-21 THE OWNER WILL PAY FOR ALL PERMIT AND PLAN-CHECK FEES UNLESS

SECTION B - BUILDING

- B-1 DOORS IN RATED WALLS SHALL CONSIST OF SELF-CLOSING, SELF-LATCHING ASSEMBLIES WITH SMOKE AND DRAFT SEALS AT HEAD AND JAMBS. DOOR ASSEMBLY RATINGS SHALL BE AS INDICATED ON DOOR SCHEDULE.
- B-2 INSULATION TO BE PROVIDED AS OTHERWISE REQUIRED TO EFFECTIVELY SEPARATE ALL CONDITIONED SPACES FROM NON-CONDITIONED SPACES EXCEPT AS OTHERWISE NOTED. PROVIDE INSULATION VERTICALLY AND HORIZONTALLY, AS INDICATED ON DRAWINGS UNLESS OTHERWISE NOTED. PROVIDE REFLECTIVE VAPOR BARRIER FACED INSULATION WHERE INSULATED SPACES WILL REMAIN EXPOSED AND ACCESSIBEL IN COMPLETED CONSTRUCTION. INSULATION MUST BE APPROVED BY BUILDING AND FIRE DEPARTMENTS PRIOR TO INSTALLATION.
- B-3 EMERGENCY LIGHTING TO BE FURNISHED AND INSTALLED AS SPECIFIED AND INDICATED BUT IN NO CASE SHALL THE LIGHT BE LESS THAN ONE FOOT CANDLE AT FLOOR LEVELS IN ALL EXIT CORRIDORS, PASSAGEWAYS OR EXIT AISLES.
- B-4 ALL PLENUM SPACES SHALL BE TIGHT AND SEALED.
- B-5 GLASS DOORS SHALL COMPLY WITH U.S. CONSUMER PRODUCTS SAFETY COMMISSIONS SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS.
- B-6 CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT, PADS ETC. AS WELL AS, POWER AND/OR WATER AND/OR DRAIN REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH WORK, CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- B-7 TOILET ROOMS SHALL BE PROVIDED WITH A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET, PLUS 50 ADDITIONAL SQUARE INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 37 FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- B-8 UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR NAILING OR BOLTING OF ALL INTERIOR AND EXTERIOR TRIM, FINISHES, GRAB BARS, TOLET PARTITIONS, ETC. AND SHALL COORDINATE AND PROVIDE ALL FRAMING AND BRACING AS NECESSARY FOR INSTALLATION OF N.I.G. EQUIPMENT INDICATED.
- $\ensuremath{\mathsf{B-9}}$ ALL PIPING TO BE KEPT AS CLOSE TO WALLS AND AS NEAR TO UNDERSIDE OF ROOF FRAMING AS POSSIBLE.
- B-10 WHERE LARGER STUDS ON FURRING IS REQUIRED TO COVER DUCTS, PIPING, CONDUT, ETC., THE LARGER SIZE STUD ON FURRING SHALL EXTEND THE FULL LENGTH OF SURFACE WHERE SAID FURRING OCCURS.
- B-11 IN ALL CASES, PROVIDED ISOLATION OF ALUMINUM FROM ADJACENT STEEL OR COAT SURFACES IN CONTACT WITH BITUMINOUS PAINT.

SECTION C - FIRE

- C-1 COORDINATE THESE REQUIREMENTS WITH THE LOCAL FIRE AUTHORITY AND APPLY THE MOST RESTRICTIVE REQUIREMENTS: ACCESSIBLE HYDRANTS SHALL BE PROVIDED AND LOCATED WITHIN 150° OF ALL PORTIONS OF EXTERIOR WALLS ON THE FIRST FLOOR AS MEASURED IN AN APPROVED ROUTE AROUND THE BLDG. (MINIMUM FLOW FROM ANY ONE HYDRANT SHALL BE 1500 GPM) HYDRANTS SHALL BE WITHIN 4° OF FIRE DEPARTMENT VEHICULAR ACCESS LANE. SUBMITTED FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION.

- C-4 FURNISH AND INSTALL FIRE EXTINGUISHER CABINET AND PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS 2A 10 CB WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BULLDING ON EACH FLOOR, OR AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR. FURNISH AND INSTALL PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 20 BC IN ALL MECHANICAL AND ELECTRICAL ROOMS, EXTINGUISHER LOCATIONS AND RATINGS TO BE DETERMINED BY THE FIRE INSPECTOR. PROVIDE A K MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN WHEN APPLICABLE.
- C-5 NOT USED.
- C-6 ROOFING SYSTEM SHALL BEAR U.L. LISTING AS CLASS "A" SYSTEM. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE LABEL.
- C-7 STORAGE OF VOLATILE FLAMMABLES SHALL NOT BE ALLOWED IN GROUP OCCUPANCIES. THE HANDLING, USE AND STORING OF FLAMMABLE LIQUIDS SHALL COMPLY WITH THE PROVISIONS OF THE UNIFORM FIRE CODE.
- C-9 IF REQUIRED; PROVIDE BLUE REFLECTIVE HYDRANT MARKERS IN CONFORMANCE WITH FIRE DEPARTMENT STANDARDS.
- C-10 FIRE LANSS WILL BE DETERMINED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY. LANE CURBS SHALL BE PAINTED RED WITH 2 COATS OF PAINT WITH WHITE LETTERING STATING "FIRE LANE NO PARKING" EVERY 50.
- C-11 FIRE ACCESS LANE SHALL BE CONTINUOUSLY PAVED TO ACCOMMODATE CITY FIRE
- C-12 "EXIT" SIGNS SHALL BE IN BLOCK LETTERS A MINIMUM OF SIX INCHES HIGH STROKE OF NOT LESS THAN 3/4 INCH. LUMINANCE ON FACE OF SIGN SHALL BE LUX. "EXIT" SIGNS SHALL BE SPECIFIED FOR THIS PROJECT BY THE ELECTRICAL ENGINEER, AND SHALL HAVE EMERGENCY BATTERY BACK UP. SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH CBC CHAPTER 10 AND CFC ARTICLE 12.
- C-13 IF APPLICABLE; FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR, SHALL BE MONITORED BY A U.L. LISTED CENTRAL ALARM SYSTEM OR PER CFC.
- C-14 IF APPLICABLE; ON-SITE FIRE HYDRANTS, POST INDICATOR VALVES AND RISERS FIRE DEPARTMENT CONNECTIONS SHALL BE PAINTED SAFETY RED UNLESS NOTED OTHERWISE OR AS DIRECTED BY LOCAL FIRE AUTHORITY.
- C-15 COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE PREMISES WHENEVER PRACTICAL (I.E., AT THE END OF THE WORK DAY). COMBUSTIBLES SHALL NOT BE BURNED ON THE SITE.
- C-16 MOTORIZED EQUIPMENT USED ON THE SITE SHALL BE USED IN ACCORDANCE WITH THE FOLLOWING:

- A. EXHAUST SHALL NOT DISCHARGE AGAINST COMBUSTIBLE SURFACES.
 B. WHEN POSSIBLE, EXHAUST SHALL BE PIPED OUTSIDE OF STRUCTURES.
 C. EQUIPMENT SHALL NOT BE REFUELED WHILE RUNNING.
 D. FÜLEL MUST BE STORED IN APPROVED CONTAINERS ABOVE GROUND.
 FLAMMABLE OR COMBUSTIBLE TANKS ARE PROHIBITED. PER OFC SEC. 2404.17.2 (P)
- C-17 HEATING DEVICES SHALL BE OF A TYPE APPROVED BY THE FIRE DISTRICT AND SHALL BE LISTED BY A RECOGNIZED TESTING AGENCY. SUCH DEVICES SHALL BE KEPT CLEAR OF COMBUSTIBLES AND SHALL BE ATTENDED AND MAINTAINED BY COMPETENT INDIVIDUALS.
- C-18 SMOKING IS PROHIBITED ON THE SITE AND SHALL BE POSTED THROUGHOUT, EXCEPT IN DESIGNATED AREA APPROVED BY THE FIRE DISTRICT.
- C-19 WHEN CUTTING, WELDING OR USING A TORCH OR ANY OTHER OPEN FLAME DEVICES AROUND COMBUSTIBLES, A FIRE WATCH SHALL BE POSTED WITH AN APPROVED MEANS OF EXTINGUISHING AN ANTICIPATED FIRE.
- C-20 THE SITE ADDRESS SHALL BE POSTED IN PLAIN VIEW OF THE STREET.
- C-21 EXIT WAYS SHALL BE ILLUMINATED ANYTIME THE BUILDING IS OCCUPIED, WITH LIGHT INTENSITY OF NOT LESS THAN ONE FOOTCANDLE AT FLOOR LEVEL.
- C-22 THE BUILDING ADDRESS SHALL BE MINIMUM 8 INCH HIGH LETTERS, WHICH CONTRAST WITH THE BACKGROUND AND ARE VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. FONT STYLE TO BE "HELVETICA MEDIUM".
- MAINTAINED AT 25'-0" HORIZONTALLY AND 13'-6" VERTICALLY AT ALL TIMES.
- C-24 AN APPROVED, AND SIGNED, SET OF CONSTRUCTION PLANS SHALL BE KEPT ON THE PREMISES AT ALL TIMES WORK IS IN PROGRESS.

SECTION D - WALL AND PARTITION CONSTRUCTION

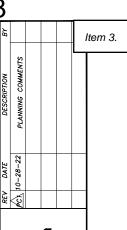
- D-1 ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPES, CONDUITS AND DUCT WORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL FURNISH AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS FIXTURES AND FOLIUPMENT
- D-2 DUCTS PENETRATING STUD WALLS OR SHAFT WALLS SHALL BE PROVIDED WITH NECESSARY FRAMES, BRACING AND SEALANT AS REQUIRED TO INSURE SOUND SEPARATION BETWEEN ADJACENT SPACES.
- D-3 INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL META CASING BEADS WHEREVER WALLBOARD ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE CAULKING AS REQUIRED.
- D-5 GYPSUM BOARD SHALL BE 5/8" THICK, TYPE" AND WATER RESISTANT WHERE SPECIFIED OR REQUIRED.
- D-6 ALL STUD WALLS, INCLUDING THE GYPSUM BOARD AND/OR PLYWOOD SHALL SPAN VERTICALLY FROM THE FLOOR TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS NOTED OTHERWISE IN WALL LEGEND.

SECTION E - SUSPENDED CEILING NOTES:

- E-1 FOR TYPICAL DETAILS, REFER TO REFLECTED CEILING PLAN.
- E-2 SUSPENDED CEILING ASSEMBLIES TO COMPLY WITH (ESR-1308) IN ACCORDANCE WITH ICC-ES ACCEPTANCE CRITERIA
- E-3 A HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED AND SUSPENDED CEILINGS AND LIGHTING SYSTEMS SHALL BE LIMITED TO 6 FT. BELOW THE STRUCTURAL DECK UNLESS THE LATERAL BRACING IS DESIGNED BY A LICENSED ENGINEER OR ARCHITECT.
- E-4 THE WIDTH OF THE PERIMETER SUPPORTING CLOSURE ANGLE SHALL BE NOT LESS THAN 2.0 IN. (50 MM). IN EACH ORTHOGONAL HORIZONTAL DIRECTION, ONE END OF THE CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A 0.75 IN. (19 MM) CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE.
- E-5 FOR CEILING AREAS EXCEEDING 1,000 FT2 (92.9 M2), HORIZONTAL RESTRAINT OF THE CELLING TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY ARRAS OF THE HORIZONTAL RESTRAINTS SHALL BE APPROX. EQ. AN EXCEPTION CAN BE MADE IT RIGID BRACES ARE PERMITED TO BE USED INSTEAD OF DIAGONAL SPLAY WIRES. BRACES AND ATTACHMENTS TO THE STRUCTURAL SYSTEM ABOVE SHALL BE ADEQUATE TO LIMIT RELATIVE LATERAL DEFLECTIONS AT POINT OF ATTACHMENT OF CELLING GRID. TO LESS THAN 0.25 IN. (6 MM) FOR THE LOADS.
- E-6 FOR CEILING AREAS EXCEEDING 2,500 FT 2 (232 M^2), A SEISMIC SEPARATION JOINT OR FULL HEIGHT PARTITION THAT BREAKS THE CEILING UP INTO AREAS NOT EXCECING 2,500 FT² SHALL BE PROVIDED UNLESS STRUCTURAL ANALYSES ARE PERFORMED OF THE CEILING BRACE SYSTEM FOR THE PRESCRIBED SSISMIC FORCES THAT DEMONSTRATE CEILING SYSTEM PENETRATIONS AND CLOSURE ANGLES PROVIDE SUFFICIENT CLEARANCE TO ACCOMMODATE THE ANTICIPATED LATERAL DISPLACEMENT. EACH AREA SHALL BE PROVIDED WITH CLOSURE ANGLES AND HORIZONTAL RESTRAINTS
- E-7 EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS. SPRINKLER EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2 IN. (50 MM) OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST IN. (25 MM) IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A SWING JOINT THAT CAN ACCOMMODATE 1 IN. (25 MM) OF CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS IS PERMITTED TO BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION.
- E-8 CHANGES IN CEILING PLAN ELEVATION SHALL BE PROVIDED WITH POSITIVE BRACING.
- E-9 CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE SUPPORTED INDEPENDENTLY OF THE
- E-10 CEILING WIRE SHALL BE CLASS 1 ZINC COATED CARBON STEEL PER ASTM A641.
- E-11 AT THE PERIMETER OF THE AREA WHERE MAIN OR CROSS RUNNERS ARE NOT CONNECTED TO THE ADJACENT WALL, PROVIDE INTERCONNECTION BETWEEN THE RUNNERS AT THE FREE END TO PREVENT LATERAL SPREADING. A METAL SPREADER STRUT OR A #16 GA. WIRE WITH A POSITIVE MECHANICAL CONNECTION TO THE RUNNER MAY BE USED AND PLACED WITHIN 8 INCHES OF THE WALL.

SECTION F - HEALTH

- F-1 TRASH AREA FOR THIS ESTABLISHMENT IS LOCATED OUTSIDE THE BUILDING
- F-2 THIS FACILITY IS SINGLE SERVICE
- F-3 ALCOHOLIC BEVERAGES WILL NOT BE CONSUMED ON THE PREMISES
- F-4 THIS FACILITY WILL BE SERVED BY THE LOCAL WATER DISTRICT
- F-5 THIS FACILITY WILL BE SERVED BY THE LOCAL SEWER DISTRICT
- F-7 FOOD PASS THROUGH WINDOWS EXCEEDING 216 SQ. IN. SHALL BE EQUIPPED WITH AN APPROVED AIR CURTAIN MOUNTED ON THE OUTSIDE OF THE FACILITY. THE AIR CURTAIN WILL PRODUCE AN AIR FLOW EIGHT (8) INCHES THICK AT THE DISCHARGE OPENING AND WITH AN AIR VELOCITY OF NOT LESS THAN 600 FPM ACROSS THE ENTIRE OPENING AT A POINT THREE (3) FEET BELOW THE AIR CURTAIN. THE AIR CURTAIN SHALL TURN ON AUTOMATICALLY WHEN THE WINDOW
- $F\!-\!8$ THE COUNTER SURFACE AT ANY PASS THROUGH WINDOW MUST BE SMOOTH, FREE OF ANY CHANNELS AND CREVICES AND BE EASILY CLEANABLE.
- F-9 PAINT COLORS IN FOOD PREPARATION AREAS MUST HAVE A LIGHT REFLECTANCE VALUE OF 70% OR GREATER.
- F-10 ALL FOOD PREPARATION AREAS, UTENSIL STORAGE ROOMS, DISHWASHING AREAS, TOILET ROOMS, DRESSING ROOMS, AND ALL BAR AND FOUNTAIN GLASS WASHING SINK AREAS, SHALL BE PROVIDED WITH AT LEAST 20 FOOT CANDLES OF LIGHT AS MEASURED 30 INCHES ABOVE THE FLOOR.
- F-11 DRY FOOD STORAGE ROOMS, AND WALK-IN REFRIGERATION UNITS SHALL BE PROVIDED WITH AT LEAST 10 FOOTCANDLES OF LIGHT AS MEASURED AT A DISTANCE OF 30 INCHES ABOVE THE FLOOR.
- F-12 A MINIMUM OF 50 FOOTCANDLES OF LIGHT SHALL BE PROVIDED AT A SURFACE WHERE A FOOD EMPLOYEE IS WORKING WITH FOOD OR WORKING WITH UTENSILS OR EQUIPMENT SUCH AS KNIVES, SLICERS, GRINDERS, OR SAWS WHERE EMPLOYEE SAFETY IS A FACTOR AND IN OTHER AREAS AND ROOMS DURING PERIODS OF CLEANING.
- F-13 LIGHT FIXTURES INCLUDING ALL DECORATIVE LIGHT FIXTURES IN AREAS WHERE FOOD IS PREPARED, OPEN FOOD IS STORED OR DISPLAYED, OR UTENSILS ARE CLEANED SHALL BE OF SHATTERPROOF CONSTRUCTION OR SHALL BE PROTECTED WITH SHATTERPROOF SHIELDS.







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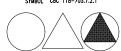
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INTERNATIONAL ACCESSIBILITY SYMBOL CBC 11B-703.7.2.1





PROPORTIONS INTERNATIONAL SIGN OF ACCESSIBILITY





FIG. (A)

PROTRUDING OBJECTS

A TRANSITION BETWEEN FLOOR FINISHES

FIN. FLOOR

B THRESHOLD

C LEVEL CHANGES

1/4" VERITCAL LEVEL CHANGE

3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

COMPRESSED CARPET 1/4" MAX. BELOW THRESHOLD

1/2" MAX.

1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.

THREDSHOLDS/LEVEL CHANGE

2. 1 : 2 SLOPED REVEL REQUIRED IF LEVEL CHANGE IS OVER

THRESHOLD

11B-703.7.2.3 OLUME CONTROL TELEPHONE

- 1. WIDTH TO HEIGHT RATIO BETWEEN 3 : 5 AND 1 : 1.
- 2. STROKE WIDTH TO HEIGHT BETWEEN 1 : 5 AND 1 : 10. 3. CONTRAST CHARACTERS AND SYMBOLS WITH BACKGROUND.
- 4. SANS SERIF CHARACTERS.

PICTOGRAMS / PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE COUNALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION SHALL BE 6" MINIMUM HEIGHT.

- CHARACTERS AND BACKGROUNDS SHALL BE OF NON-GLARE CONTRASTING COLORS.
- . SIGNS / PICTOGRAMS SHALL BE INSTALLED ON THE LATCH SIDE OF THE DOOR LEADING TO THE ROOM OF SPACE THEY DESCRIBE AND WITH A CLEAR FLOOR SPACE OF 18"X18" CENTRED ON THE TACTLIC CHARACTERS BEYOND DOOR ARC BETWEEN 45 DEGREES AND CLOSED. LOCATE ABOVE THE FLOOR PRE DETAIL 1/AGO.
- VERTICAL CLEARANCE AT SUSPENDED SIGNS WITH MINIMUM HEADROOM OF 80" REQUIRE MINIMUM 3" CHARACTER HEIGHT MEASURED BY USING UPPERAGE "X". CHARACTERS AND NUMBERS SHALL BE SIZED ACCORDING TO VIEWING DISTANCE FROM WHICH READ. LOWER CASE CHARACTERS PERMITED.
- SIGN LOCATIONS:
- ALL ACCESSIBLE ENTRANCES IDENTIFIED WITH MINIMUM OF ONE STANDARD SIGN. 10. ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.

INTERNATIONAL SYMBOL OF ACCESSIBILITY:

DESIGNS AND COLORS MAY BE APPROVED.

- INTERNATIONAL SYMBOL 12. STANDARD USED TO IDENTIFY ACCESSIBLE FACILITIES.
- FOR HEARING LOSS 13. WHITE FIGURE ON BLUE BACKGROUND, COLOR # 15090 ON 14. WHEN ENFORCING AGENCY DETERMINES, IF APPROPRIATE, SPECIAL
 - 15. USE CONTRACTED GRADE 2 BRAILLE. DOTS TO BE 0.1 INCH ON CENTER IN EACH CELL.
 - 16. 0.2 INCH SPACE BETWEEN CELLS.

SIGNS/PICTOGRAMS

- 17. DOTS RAISED MINIMUM 0.025 INCH ABOYE BACKGROUND.
- CHARACTERS SHALL BE SANS SERIF UPPER CASE ACCOMPANIED BY GRADE 2 BRAILLE ANS SIZED

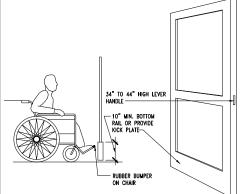
CLEAR WIDTH ANY AMOUNT

CANE RANGE

- FIN. FLOOR LEVEL

(6)

- MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM. HARDWARE:
- OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 4. MOUNTED 34" TO 44".
- MAXIMUM 5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.



PROVIDE PRIVACY DOOR LOCK WHEN IT IS A PRIVATE TOILET OR FOR GENDER NEUTRAL USE.

B ELEVATIONS

60' MIN.

24" 12" MIN. MIN.

30°x48°+ MIN. CER. FLR. SPACE

-님;

32" CLR

A PLAN

TOILET SEAT DISPENSER

1-1/2"ø DIAMETER GRAB

BAR W/ PEENED FINISH & 250 LBS. CAPACITY—

36" MAX.

ROLL PAPER HOLDER —
WITHOUT STOPS

A HIGH FORWARD REACH LIMIT

- 36" (MIN.) GRAB BARS

48" MIN. WHEN FRONT ENTRY DOOR OR 60" MIN. WHEN SIDE ENTRY DOOR

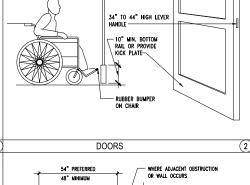
-WATER CLOSET SHALL BE "ULTRA LOW FLUSH' TYPE WITH 1.6 GALLONS MAXIMUM PER FLUSH -TOILET ROOMS SHALL BE FINISHED WITH TILE OR MARLITE OVER MOISTURE BE RESISTANT

25 MW. TO R

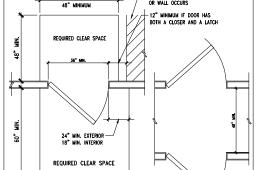
6" MAX. 11" MIN.

17"MIN.-19"MAX.

FLUSH ACTIVATOR ON WIDE SIDE



PRIVACY/GENDER NEUTRAL TOILET ROOM 4



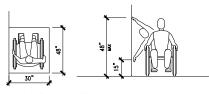
DOOR WIDTH PLUS

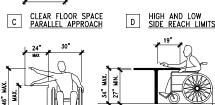
A PLAN

24" MIN. EXTERIOR & 18" MINIMUM INTERIOR BEYOND STRIKE EDGE OF A GATE OR DOOR ON THE SIDE TOWARD WHICH IT



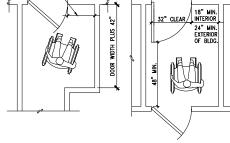
- 2. WHEN X < 20 INCHES, THEN Y SHALL BE 48 INCHES MAXIMUM.
- WHEN X IS 20 TO 25 INCHES, THEN Y SHALL BE 44 INCHES MAXIMUM.
- B MAXIMUM FORWARD REACH OVER AN OBSTRUCTION





F KNEE CLEARANCE

REACH REQUIREMENTS



RAMP LANDING AT DOORWAY PLAN NOTES:

C <u>VESTIBULE PLAN</u>

B CORRIDOR PLAN

48" MIN.

1. CLEAR SPACES MUST BE LEVEL TO PREVENT WHEELCHAIRS FROM ROLLING WHEN THE OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR THE DOOR. 1/4" PER FOOT IS ALLOWED FOR DRAINAGE.

DOOR CLEAR SPACE

2. WHERE DOORS OPEN ONTO, BUT NOT INTO A CORRIDOR, THE REQUIRED LEVEL AREA BEYOND THE DOORS MAY BE A MINIMUM OF 48". FOR ADDITIONAL INFORMATION, SEE APPLICABLE MOTES ON TYPICAL ACCESSIBILITY MOTES SHEET.

THE 2019 CALIFORNIA BUILDING CODE CHAPTER 118 FOR ACCESSIBLE PARKING STANDARDS FOR COMMERCIAL BUILDINGS & PUBLIC ACCOMMODATIONS. FOR ADDITIONAL PARKING REGULATIONS PLEASE REFER TO THE LOCAL MUNICIPAL CODE FOR THE

ACCESSIBLE PARKING

1. PARKING SPACES COMPTING WITH SECTION 118-502 THAT

1. PARKING SPACES COMPTING WITH SECTION 118-502 THAT

SERVE A PARKING SPACES COMPTING WITH SECTION 118-502 THAT

PARKING TO THE SWAPPEST ACCESSIBLE OFFER THAT

PARKING TO THE STANDARD SPACES COMPTING WITH

ACCESSIBLE ENTRANCE, PARKING SPACES COMPTING WITH

SCHOON 118-502 SHALL DESPERSAD AND LOCATE ON THE

SHORTEST ACCESSIBLE TOUT TO THE ACCESSIBLE DIVINGWENT

IN PARKING FACILITY STANDARD AND SERVE A PARTICULAR

SECTION 118-502 SHALL BE LOCATED ON THE SHORTEST

OF THE PARKING FACILITY, (FEE 118-208.3.1)

SURFACES SLOPES OF ACCESSIBLE PARKING SPACES

1. 118-405.2 SLOPE - RAMP RUNS SHALL HAVE A RUNNING
SLOPE NOT STEEPER THAM 1:12.

2. 118.405.3 CROSS SLOPE - CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48
3. 11B-405.6 RISE - THE RISE OF ANY RAMP RUN SHALL BE

PARKING SPACE AND SIGNAGE

1. CAR AND VAN PARKING SPACES SHALL COMPLY WITH SECTION
118-902. WERE PARKING SPACES ARE MARKED WITH LINES,
WITH MESUREVENTS OF PARKING SPACES AND ACCESS
STALL ES MALE WIGHT FROM THE CONTRIBUTE OF THE
ACCESS SPACE AND FROM THE CONTRIBUTE OF THE
ACCESS AND VAN PARKING SPACES SHALL BE 137 COME MIN.
2. CAR AND VAN PARKING SPACES SHALL BE 137 COME MIN. . Got and van practic Stracts Stratt Be 10 to the bin. Car parking Spaces Shall Be 12 wide bin. And van Parking Spaces Shall Be 12' wide Minhaum, Shall Be Marked to Defined The Worth, And Shall have an Adjacent access

(PER 118-502.2).

3. ACCESS AISLES SERVING PARKING SPACES SHALL COMPLY WITH SECTION 118-502.3. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. (PER

PERMITTED TO SHARE A COMMON ACCESS ASSLE (PER 1818-502.3).
WIDTH - ACCESS ASSLE SERVING CAR AND WAR PARKING SPACE SHALL BE GOT WORD HIM.
LENGTH - ACCESS ASSLE SHALL EXTEND THE FILL REQUIRED LENGTH OF THE ARRONG SPACES THEY SERVE. (PER 1818-502.3.2).
SHOWN AND ACCESS ASSLE SHALL BE MARKED WITH A BLUE PARKING BORGERHER AND HER HERBEITER HE AREA WHITH HE BUT BORGERHER AND HER WARDED OF THE ASSLESS ASSLESS

4. PARKING SPACE (DEMITICATION) SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBLY TO PARKING WITH SECTION 118-703.7.2.1. SOIGS DESIRITY TIME YAM PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OF AN ADDITIONAL SHOW WITH THE DESIGNATION "VAN ACCESSIBLE." SIGNS SHALL BE 60" MIN. ABOVE FINISH FLOOR OR GROUND SUBFACE MELSMED TO THE BOTION OF THE SIGN. PRINSH AND SIZE — PARKING BENIFICATION SIGNS SHALL BE RETLECTORIES TO THE SIGNS SHALL BE RETLECTORIES FOR THE A MIN. AREA. OF TO SQUARE MORES.

REFLECTORIZED WITH A MAIN, AREA OF 70 SOLIAGE MONES.

(PER 118-50.25 ADDITIONAL LANGUAGE OR AN ADDITIONAL LANGUAGE OR AN ADDITIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." (PER 118-500.2.) LOCATION — A PANIOR SPACE DIFFICIENT SIGN SHALL BE VISIBLE FROM EACH PANIOR SPACE, SIGNS SHALL BE SYMBOL FROM EACH PANIOR SPACE, SIGNS SHALL BE SYMBOL FROM EACH PANIOR SPACE OF THE PANIOR SPACE (PER 118-502.6.3)

5. EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER SECTIONS 11B-502.6.4.1 OR 11B-502.6.4.2. (PER 11B-502.6.4.1)

THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL STRUGG ACCESSIBILITY (SA) COMPLYING WITH SECTION 1189-703-72.21 IN WHITE ON A BULE BACK GROUND A MINIMUM 35" WIDE BY 35" HIGH. THE CENTER LINE OF THE PARKING BEACH, ITS SIDES PARALLEL TO THE LINETH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALMORED WITH, THE CHOI OF THE PARKING SPACE LINETH, (ILI-SA)CA.11 (ILI-SA)CA.11

THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN EAR COMPLYING WITH SCENICH 118-73.2.1 A MIN. 36 WIDE BY 36 HORH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CHITEZING OF THE TARKING SPACE, ITS SUES PARAULLE 10 THE LEWIS OF THE PARKING SPACE, THE SUES PARAULTE 10 THE LEWIS OF THE PARKING SPACE, AND ITS COURSE CORRESPONDED ADDRESS AND SPACE AND ITS COURSE CORRESPONDED ADDRESS AND SPACE AND ITS COURSE CORRESPONDED ADDRESS AND SPACE AND ITS COURSE CORRESPONDED ADDRESS AND SPACE. (FER TILL—SUE.A.C.4.2)

6. AN ADDITIONAL SIGN SHALL BE POSTED EITHER; 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR OFT-STREET PARKING FACULTY OR 2) MINETIMENT AUGUST TO 10-STE ACCESSIBLE PARKING AND WISBLE FROM EACH PARKING SPACE, (PER 118-502.8) THE SIZE OF ADDITIONAL SIGN SHALL HOT BE LESS THAN 17" WIDE BY 22" HIGH. (PER 118-502.8.1) THE LETTER OF ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1" THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED
ACCESSIBLE SPACE, NOT DESIGNATION DESTINATION ACCESSIBLE SPACE, NOT DESIGNATION DESTINATION PROPAGATOR OF SPECIAL DEDICE PLATES ISSUED FOR
PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT
THE OWNER'S EXPENSE, FORCE VIOLEDES MAY BE
RECLAULD AT:
OR THEIRPHONING
BRAIK SPACES SIALL BE FILLED IN WHICH APPROPRIATE
INFORMATION AS A PERMANENT PART OF THE SIGN.
(FOR 118-029 A.)

YERTICAL CLEARANCE

1. PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES
SERVING THE SHALL PROVIDE A VERTICAL CLEARANCE 98"
MINIMUM. (PER 118-502.6)

VAN PARKING SPACES
1. FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES
REQUIRED BY SECTION 118-208.2 TO COMPLY WITH SECTION
118-502, AT LEAST OME SHALL BE A VAN PARKING SPACE
COMPLYING WITH SECTION 118-502. (PER 118-208.2.4). EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER SECTION 11B-502.6.4

2. THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE AND SHALL BE MARKED WITH AM INTERNATIONAL SYMBOL OF ACCESSIBLITY (68.) OVERTIME WITH SECTION 118-7037.2.1 a MINIMUM SE[®] WIDE BY 30°-HIGH IN WHITE OR A SULFALE CONTRETING COLOR THE CENTER LINE OF TAS SHALL BE A MINIMUM OF 6° FROM THE CENTER OF PARKED SHALL BY ASSENCE AS AND A SHALL BE A MINIMUM OF 6° PARKED THE OF THE PARKED SHALL BY A SH

END OF THE PARKING SPACE. (PER 11B-502..6.4.2)

END OF THE PARKING SPACE, (PER 118-502.6.4.2)
AN ADDITIONAL SIGN SHALL BE POSTED ETHER: (PER 118-502.8), A CONSPICUIOUS PLACE AT EACH EMPRANCE TO AN 176-518EET PARKING FACULTY OR 2. MINEDIANTE ANALOSEN TO ANOTHER ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. THE ADDITIONAL SIGN SHALL BY CLEAR THAN 177 THE ADDITIONAL SIGN SHALL BY CLEAR IN THE 1502.8.1)
THE ADDITIONAL SIGN SHALL BE CLEAR IN LETTERS WITHER SHALL BE LISTED AND SHALL BE CLEAR IN LETTERS WITHER SHALL BY ADDITIONAL STORY WHITE PARKED IN RESONANTED AND SHALL BE CLEAR THE SISSUE FOR PERSONS WITH DESABLIFIES WILL BE FOWED AWAY AT THE OWNERS CAPITALS. THE OWNER DESABLES SHALL BY AT THE OWNERS CAPITALS IN SIZE OF THE STATE OF THE ST

TELEPHONING ______"
BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE
INFORMATION AS A PERMANENT PART OF THE SIGN.

WALKS & SIDEWALKS

CENERAL WALCING SUBFACES THAT ARE A PART OF AN ACCESSEER ROUTE SHALL COMETY WITH SECTION 118—403 HE -403.5. ILLEW WORTH. EXCEPT AS PROVINGED IN SECTIONS 118—403.5.2. AMD 118—403.5. I. THE CLEAR WORTH OF SMALKING SUBFACES SHALL ES IN NORTHS (STAMMS). THE CLEAR WORTH OF SIDEWALS AND WALKS SHALL EL 48" NORTH SET SITEMATIONS", NATURAL BANKERS OR OTHER ESTRING CONDITIONS, THE PHOTOGRAM CARRIEV DETERMINES THAT COMPLIANCE WITH THE 48—800H (219 mm) CLEAR SIDEWALK WORTH HE 49—800H (219 mm) CLEAR SIDEWALK WORTH HAVE SERVICE AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICE AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND UNDERSTAND AND UNDERSTAND A SIDEWALK WORTH HAVE SERVICED AND UNDERSTAND AND U

118-303.2 VERTICAL
CHANGES IN THE LEVEL OF 1/4 INCH (6.4mm) HIGH MAXIMUM
SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE
TREATMENT

118-303.3 BEVELED.
CHANGES IN LEVEL BETWEEN 1/4 INCH (6.4mm) HIGH MINIMUM AND 1/2 INCH (12.7mm) HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2

11B-303.3 BEVELED.
CHANGES IN LEVEL BETWEEN 1/4 INCH (6.4mm) HIGH MINIMUM AND 1/2 INCH (12.7mm) HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2

11B-403.3 SLOPE.
THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE
STEEPER THAM 1:20. THE CROSS SLOPE OF WALKING SURFACES
SHALL NOT BE STEEPER THAM 1:48

PROTRUDING OBJECTS

11B-307.2 PROTRUSION LIMITS. OBJECTS WITH LEADING EDGES MORE THAM 27 INCHES (686 mm) AND NOT MORE THAN 80 INCHES (2032 mm) ABOVE THE FAISH FLOOR OR GROUND SHALL PROTRUDE 4 INCHES (102 mm) MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH.

FLOOR OR GROUND SURFACES

(11B-302.1) GENERAL. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 11B-302

(118–30.2) CARPET OR CARPET THE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET THE SHALL HAVE A LEYEL LOOP, TEXTURED LOOP, LEVELCUT PIEL, LEVEL CUT/UNCUT PIEL TEXTURE. PIEL HEIGHT SHALL BE C1/2 INCH (12.7MM) MAXIMUM. EXPOSED EDGES OR CARPET SHALL BE FASTENED TO FLOOR SURFACE AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED GOE, CARPET EDGE TRIM SMALL COMPLY WITH SECTION 11B-303.

(11B-302.3) OPENINGS. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT, ALLOW PASSAGE OF A SYPHEME MORE THAM 1/2 INCH (12.7 MM) DIAMETER EXCEPT AS ALLOWED IN SECTION 11B-407.4.3

(11B-303.2) VERTICAL. CHANGES IN LEVEL GREATER THAN 1/4 INCH (6.4 MM) AND NOT EXCEEDING 1/2 IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THEN 1:2 (118-303) & (118-303.3)

187-703.7.2.3 LIMEST TOLET AND BATIME FACULTES.
UMSET TOLET AND BATIME FACULTES SMAL BE DEMPTED BY
UMSET TOLET AND BATIME FACULTES SMAL BE DEMPTED BY
A CRICLE, 1/4 MC (6.4mm) TRUCK TRANCES (505mm).
IN DAMPLETE WITH A 1/4 MCM (6.4mm) TRUCK TRANCES (1971) IN
WETTER PORTION (1972) DIAMPLETED IN THE CRICKE STRIPM
WITHIN THE 17-MCM (1970) DIAMETER. THE TRANCES CYARDO. A
BARK SACKGROUND OF DRIVE ON A LIGHT BACKGROUND. THE
CRICLE SYMBO, SAULL CORPITANT WITH THE DOORS, CITHER LIGHT
ON A DARK BACKGROUND OF DARK ON A LIGHT BACKGROUND.

GEOMETRIC SYMBOLS 27 E E E ALL GENDER TOILET ROOM SIGNAGE TO COMPLY WITH TITLE 24 DISABLED ACCESSIBILITY PENINDEMENTS

> SANITARY FACILITY FIXTURES & ACCESSORIES 118-606.5 EXPOSED PIPES AND SURFACES.
> WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS
> SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT
> AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE
> SURFACES UNDER LAVATORIES AND SINKS.

118-703.7.2.6 TOILET AND BATHING FACULTIES GEOMETRIC STRIBOLS, DOORWAYS LEADING TO TOILET BOOKS, AND BATHING FOOKS SHALL BE INCHITEDED BY A GEOTIFIED SYMBOL SHALL BE MOUNTED WITH SECTION 118-703.7.26. THE SYMBOL SHALL BE MOUNTED AT 58 INCHES (1745mm) MANDIAN MOD 10 MICHES (1745mm) MANDIAN ABOVE THE FINISH FLOOR OF GROUND SUFFACE MADDIAN ABOVE THE FINISH FLOOR OF GROUND SUFFACE ADDIAN STRIPMENT OF FINISH SHANDLES WHITE A DOOR IS PROVIDED IT BE WANDLES WHITE A HOR (1750mm) THE CHIEFCHER OF THE SYMBOL WHITE A HOR (1750mm) OF THE VERTICAL CENTRE OF THE DOOR.

11B-703.4.1. HEIGHT ABOVE FINISH FLOOR OR GROUND. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES (1219mm) HIMINIAN ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST

DOOR, DOORWAYS, AND GATES
1. DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN
ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION (11B-404.1)

1, DOURS, DOURMANS, AND GALLS INAI AME PART OF AM ACCESSIBLE FORUE SHALL COMPTY WITH SECTION (118-404.1)
2, MANUAL DOORS, DOORMANS, AND MANUAL AGES INTENDED FOR USER PASSAGE SHALL COMPTY WITH SECTION III—504.2 (PER 118-404.2)
3, DOOR OPENINGS SHALL PROVIDE A CLEAR WOTH OF 32" MIN. CLEAR OPENINGS OF DOORMANS WITH SWINGONG DOORS SHALL STOR, WITH IN EDOOR DOORS SHALL STOR, WITH IN EDOOR DOOR DO EDGRESS OPENINGS UNDER THAN 24" DEEP SHALL PROVIDE A CLEAR OPENING OF 35" MIN. THERE SHALL BE NO PROCEDION INTO THE REQUIRED CLEAR OPENING WITH LOWER THAN 34" ABOVE THE FINISH FLOOR OR GROUND SHALL BE NOT BEEN AND SHALL BE PROVIDED WITH SHALL BE PROVIDED AND SHALL BE PROVIDED WITH AND SHALL BE PROVIDED WHEN ANY DOORS & GAITES SHALL HAVE MANUFURING CLEARANCES COMPLINE WITH TABLE 118-404.2-4.1.
5. RECESSED DOORS & CALLES SHALL HAVE MANUFURING CLEARANCES TOWNAND APPROACH AND SHALL BE PROVIDED WHEN ANY DOORS & CALLES SHALL BE PROVIDED HERSELD OF THE LITTLE SIDE OF ANY DOORS AND SHALL BE PROVIDED SHOWN OF THE LITTLE SIDE OF THE DOOR OR GAIT. (PER 118-404.2-4.1)
7. PROVIDED HIRESHOLD AND CAUSED PROVIDED MANUFURENING CLEARANCES SHALL COMPLY WITH SECTION 118-302.
7. PROVIDED HIRESHOLD AND CONTINUES ONLY WITH SECTION 118-302.
7. PROVIDED HIRESHOLD AND CONTINUES SHALL COMPLY WITH SECTION 118-302.
7. BEAUTISES OF THE SHALL SHALL SHALL SHALL BE PASS ONLY MANUFACHING SHALL BE SHALL SHALL BE PASS ONLY MANUFACHING SHALL BE SHALL SHALL BE SHALL BE ALLE SHALL BE SHALL SHALL BE SHALL BE SHALL SHAL

118-404.2.8.
THE DOOR & GATE CLOSERS SHALL BE ADJUSTED SO
THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME
REQUIRED TO MOVE THE DOOR TO A POSITION OF 12
DEGREES FROM THE LARCH IS 5 SECONDS MINIMUM. (PER DEUREZ FROM III-118-404.28.1)

DOOR & GATE SPRING HINGES SMALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MIN. (PER 118-404.28.2)

MIN. (THE 118-04.2.8.2)

10. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OR OTHER THAN THE DOORS SMALL BE AS TOLLOWS:

10. STATE OR OTHER THAN THE DOORS SMALL BE AS TOLLOWS:

10. STATE OR SMALL BE AS TOLLOWS:

10. STATE OR TOLLOWS DOORS: 5 FORMOS MAY.

10. STATE OR DOORS: THE MINIMAN OPENING FORCE COUNTY OF THE DOORS THE MINIMAN OPENING FORCE COUNTY OF THE DOORS OF THE FORCE ROUGHTS OF THE THAN THE FORCE ROUGHTS OF THE THAN THE FORCE ROUGHTS OF THE THAN THE PORT OF THE THAN THE PORT OF THE PORT O

11. SYMCHOIG DOOR AND GATE SIRFACES WITHIN 10" OF THE FINISH FLOOR OF GROUND MEASURED VERTICALLY SMALL HAVE A SAMON SHAREAGO ON THE FIRST DOE EXTENSION. THE HAVE A SAMON SHAREAGO ON THE FIRST DOE EXTENSION FOR HAVE AND WONLY IN THESE SHAREAGE SHALL BE WITHIN 1/16" OF THE SAME PLANE AS THE ONEE AND BE FREE OF SHAREP OR RESKNEY EDGES. CAMPLES SCHALL BY ADDED KOCK PLATES SHALL BE CAPPED. (PER 118-404.2.10)

12. AUTOMATIC DOORS & AUTOMATIC GATES SHALL COMPLY WITH SECTION 118-404.3. FULL-POWERED AUTOMATIC DOORS SHALL COMPLY WITH AMS/JEHMA A156.10. LOW-ENERGY AND POWER-ASSISTED DOORS SHALL COMPLY WITH ANS/JEHMA A156.19. (PER 118-404.3)

13. WHERE DOORS & GATES WITHOUT STANDBY POWER ARE A PART OF A MEANS OF EGRESS, THE CLEAR BREAK OUT OPENING AT SWINGING OR SLIDING DOORS AND GATES SHALL BE 32" MIN. WHEN OPERATED IN EMERGENCY MODE. (PER 118-404.3.6)

HANDRAILS & GRAB BARS

COMMUNICATION ELEMENTS 1. FIRE ALARM SYSTEMS SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 & CHAPTER 9, SECTION 907.5.2.1 AND 907.5.2.3 (PER 118-702.10)

2. ALL BUILDING ENTRANCES SHALL BE IDENTIFIED WITH SIGNS
THAT COMPLY WITH WITH SECTION 118-703. WHERE BOTH
VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS,
ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS. SHA
BE PROVIDED. (PER 118-703.1)

3. SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH SECTION 11B-703.4 & 11B-703.4.1

RAISED CHARACTERS SHALL BE 1/32" MIN. ABOVE THEIR BACKGROUND. 11B-703.2.1

5. CHARACTERS SHALL BE UPPERCASE. 11B-703.2.2 CHARACTERS SHALL BE SAN SERIF. CHARACTERS SHALL NO BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS. 11B-703.2.3

7. CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WOTH OF THE UPPERCASE LETTER "O" IN 55 60 PERCENT MAX. OF THE HEIGHT OF THE UPPERCASE LETTER "". 118-703.2.4

8. CHARACTERS HIGH MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8" MIN. AND 2" MAX. BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I". 11B-703.2.5 9. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 15 PERCENT MAX. OF THE HEIGHT OF THE CHARACTER.

10. CMARACTERS SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST FORMS OF ADMACHER PASSED CHARACTERS WITHING A MESSAGE, EXCLUSION WORD SPACES, MEDICAL PROPERTY OF A SHALL PROPERTY OF A SHALL PER 1/10 MEASURED CHARACTERS SHALL BE 1/10 MEASURED CHARACTERS SHALL BE 1/10 MEASURED CHARACTER SHALL BE STRANGED CHARACTER SHALL BE STRANGED CHARACTER SHALL BE STRANGED CHARACTER SHALL BE STRANGED TO NOW AND MEASURED CHARACTER SHALL BE STRANGED TOWN AND MOREOREM AND DECORATIVE ELEMENTS 3/5" MIN. 118-703.2.7

11. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135% MIN. AND 170% MAX. OF THE RAISED CHARACTER HEIGHT. 11B-703.2.8

12. TEXT SHALL BE IN A HORIZONTAL FORMAT. 11B-703.2.9 13. BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTION 11B-703.3 BRAILLE AND 11B-703.4 INSTALLATION HEIGHT AND LOCATION 11B-703.3

14. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 118-703.3.1. THE INDICATION OF AN IMPERCASE LETTER OR LETTERS SHALL OMY BE USED BEFORE THE RIST WORD OF SENTENCES, PROPER HOURS AND MARES, NOUNDUAL LETTERS OF THE ALPHANET INITIALS, AND ACROMINS. 18-703.3.1

15. BRAILLE SMALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A MOREONIAL FLORMAI, FLUSH LETT OR CHITTEED, OF TEXT IS MALL BE PLACED BELOW THE ETITIES TEXT. BRAILE SMALL BE SEPARATIO 3/8" MAIN. FROM RANCE DEBUGGES AND DECORATIVE ELEMENTS. 110-763.2 (SEE EXCEPTION).

16. SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH 11B-703.4 INSTALLATION HEIGHT AND LOCATION. 11B-703.4

17. TACHE CHARACTES ON SORES SHALL BE LOCATED 45" MIN.
ABOVE THE FINSH FLOOR OF GROUND SUBFACE, MESARED
FROM THE BUSINED OF THE LOWEST TACHE CHARACTES
BRAILE CELLS AND 50" MAX. ABOVE THE FINSH FLOOR OF
GROUND SUBFACE, MESARED FROM THE BASELED OF THE
HIGHEST BLOCK CHARACTERS.
113-702.4.1 (SEE DICEPTING)

118-703.4.1 (SEE EXCEPTION)

18. WHERE A TACTUS SIGN IS PROVIDED AT DOOR, THE SIGN SMALL BE LOCATED AND MISSIES THE DOOR AT THE LATOH SIGN. WHERE A TACTUS SIGN IS PROVIDED AT DOUBLE DOORS WITH OWN ADVITE LATOR. THE SIGN SMALL BE LOCATED ON THE DOUBLE DOOR, SIGN IS AND SMALL BE LOCATED ON THE BORN OF THE SIGN SMALL BE LOCATED TO THE BORN OF THE LATON SIGN OF A SINGLE DOOR OR AT THE ROTH SIZE OF DOUBLE DOORS, SIGN SIZE OF A SINGLE DOOR OR AT THE ROTH SIZE OF DOUBLE DOORS, SIGN SIZE OF A SINGLE DOOR OR AT THE ROTH SIZE OF DOUBLE DOORS, SIGN SIZE OF THE SI

19. VISUAL CHARACTERS SHALL COMPLY WITH THE FOLLOWING, EXCEPT WHITE VISUAL CHARACTERS COMPLY WITH 118-703.2 MASTO CHARACTERS AND ARE ACCOMPANIED BY BRABLE CAMPLYING WITH 118-703.3 BRAILE, THEY SHALL NOT BE EXQUIRED TO COMPLY WITH 118-703.5.2 THROUGH 118-703.5.6, 118-703.5.8 AND 118-703.5.9

ELECTRICAL

(118-308.1.) ETECTRICAL SWITCHES, CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREAS TO CONTROL LIGHTMEN AND EXCEPTAGE OUTLES, APPLIANCES OR COOLING, HEATING AND EXPITALISTIC COUPLING, SHALL COMPANY TO SECTION 118-306 EXCEPT THE LOW BEACH SMALL BE REASHED TO THE SOTTOM OF THE OUTLITE BOX AND THE MOSH EACH SMALL BE MEASHED TO THE OUTLITE BOX.

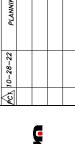
(118-308.1.2) ELECTRICAL EXCEPTAGLE OUTLETS. ELECTRICAL RECEPTAGLE OUTLETS ON BRANCH GROUTS OF 30 AMPRIES ON LESS AND COMMUNICATION SYSTEM RECEPTAGLES SHALL COMPLY WITH SCHOOL 118-308 EXCEPT INE LOW REACH SHALL BE WASSINGTO TO THE ROTTOM OF THE OUTLET OF AND THE HORN REACH SHALL BE WASSINGTO TO THE TOP OF THE OUTLET ON LOT.

OPERABLE PARTS

(118-309.4) OPERATION. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR THISTIMG OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.

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Item 3.







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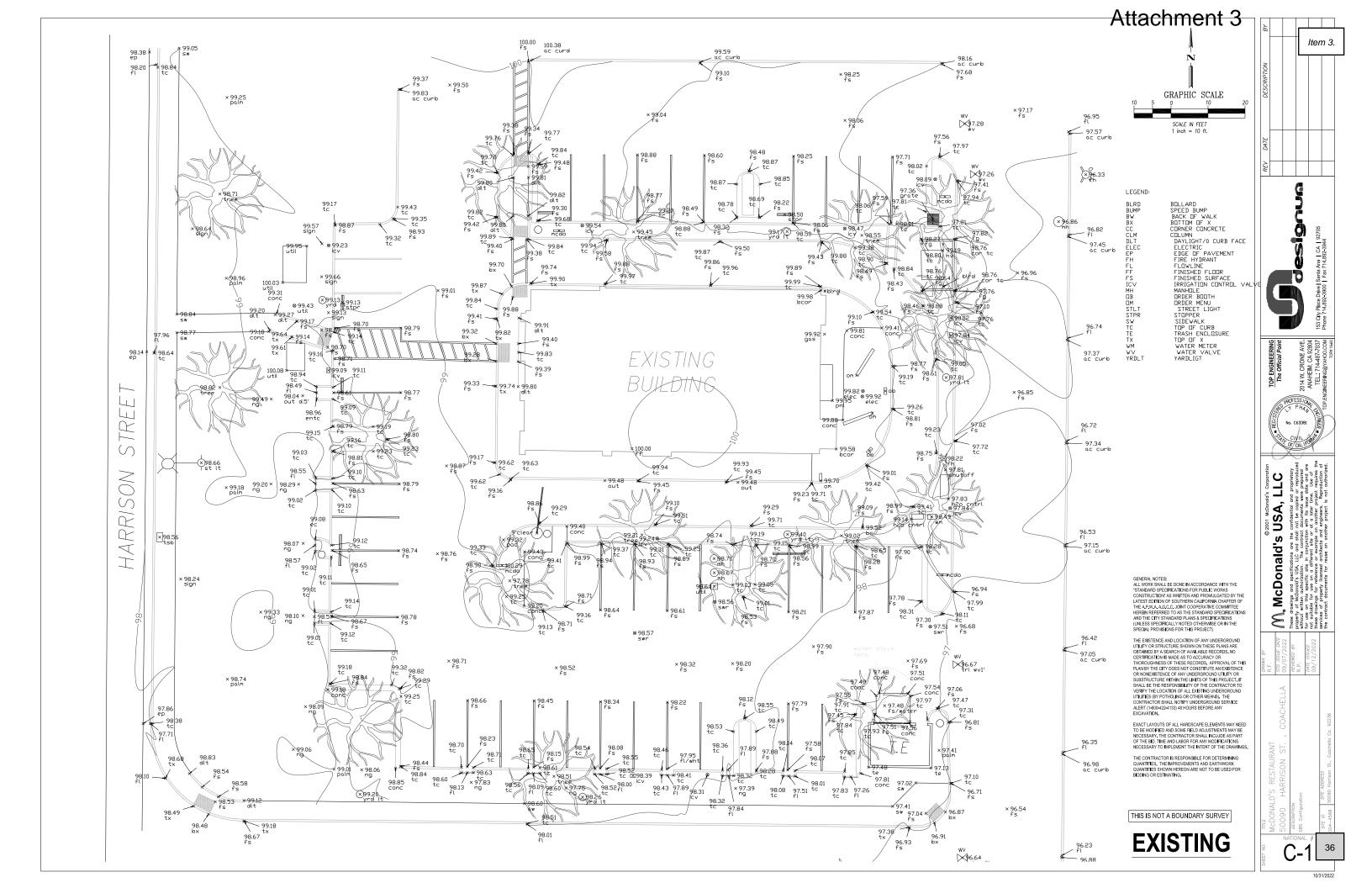
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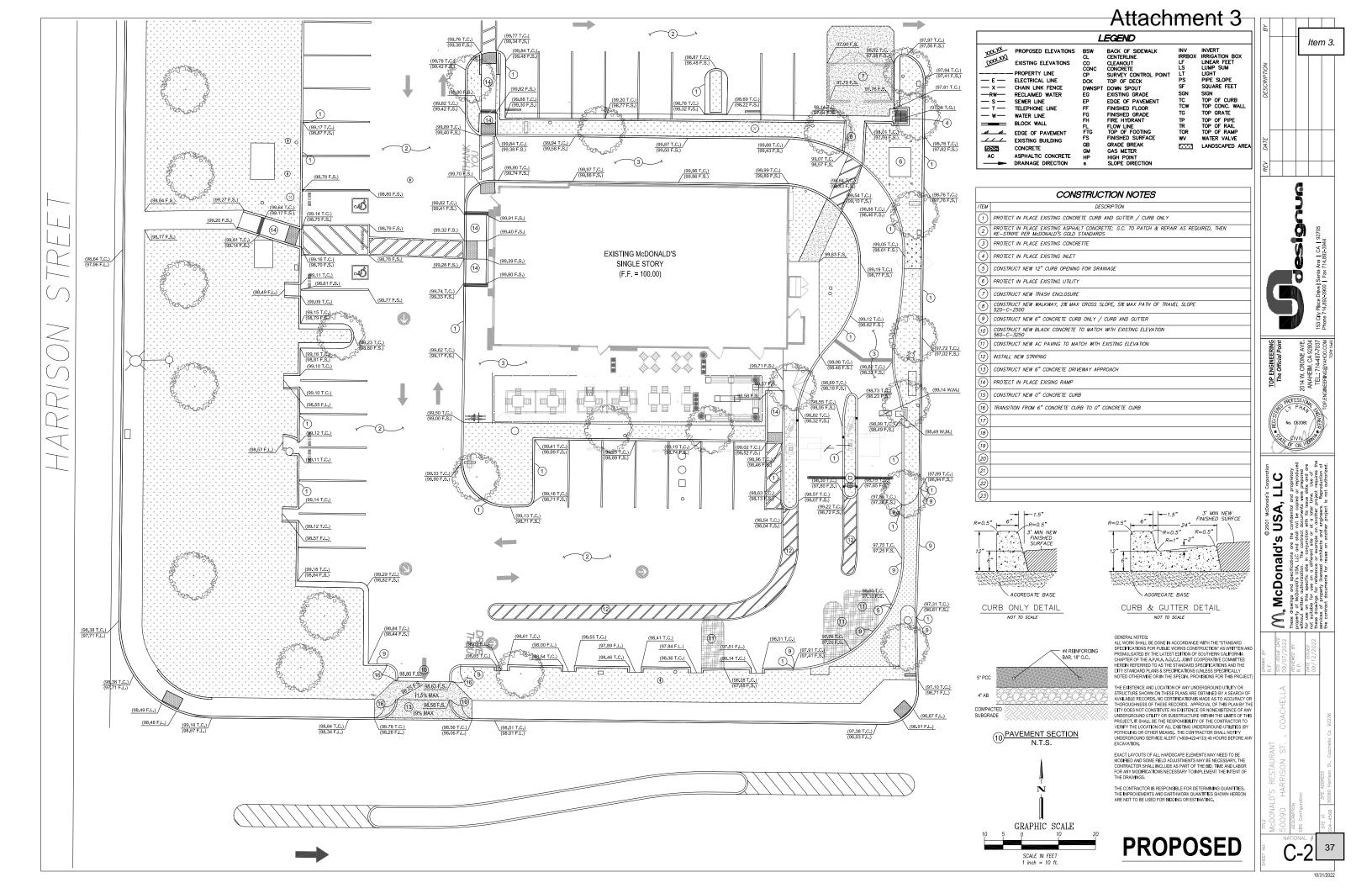
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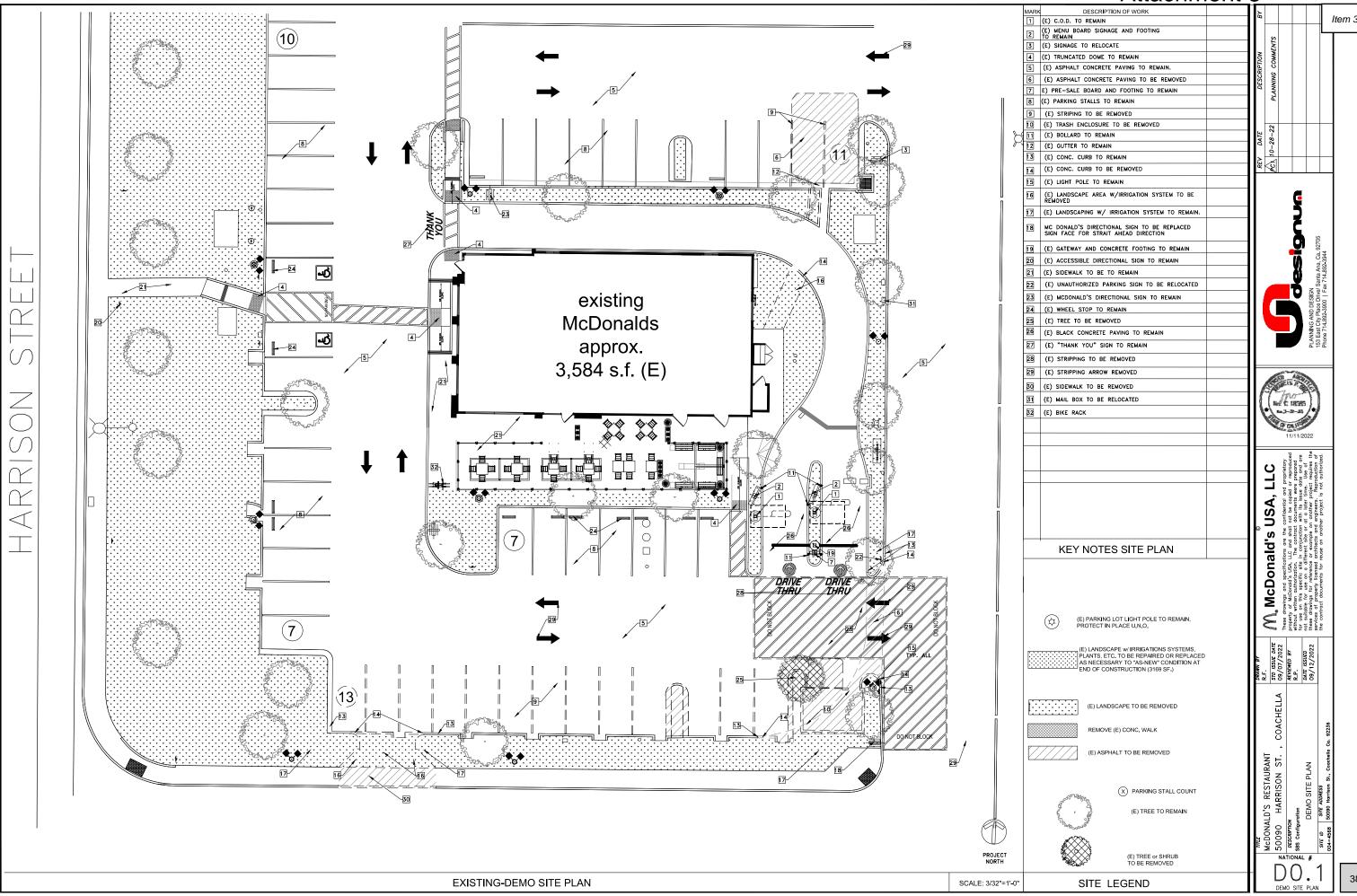
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Attachment 3 (E) C.O.D. TO REMAIN (E) MENU BOARD SIGNAGE AND FOOTING TO REMAIN (E) SIGNAGE TO RELOCATE (E) TRUNCATED DOME TO REMAIN (E) ASPHALT CONCRETE PAVING TO REMAIN. (E) ASPHALT CONCRETE PAVING TO BE REMOVED (E) PARKING STALLS TO REMAIN (E) STRIPING TO BE REMOVED (E) TRASH ENCLOSURE TO BE REMOVED (E) GUTTER TO REMAIN (E) CONC. CURB TO BE REMOVED (E) LANDSCAPE AREA W/IRRIGATION SYSTEM TO BE REMOVED (E) LANDSCAPING W/ IRRIGATION SYSTEM TO REMAIN. (E) ACCESSIBLE DIRECTIONAL SIGN TO REMAIN (E) SIDEWALK TO BE TO REMAIN (E) UNAUTHORIZED PARKING SIGN TO BE RELOCATED (E) MCDONALD'S DIRECTIONAL SIGN TO REMAIN 24 (E) WHEEL STOP TO REMAIN (E) TREE TO BE REMOVED (E) BLACK CONCRETE PAVING TO REMAIN (E) "THANK YOU" SIGN TO REMAIN (E) STRIPPING TO BE REMOVED (E) SIDEWALK TO BE REMOVED (E) MAIL BOX TO BE RELOCATED 32 (E) BIKE RACK McDonald's USA, LLC

These drawings and specific also are the confidential and propriettory property of McDonald's USA. LLC and shall not be capied or reproducted without writes authorically. The conjustion is no conjustion where property or use on this pecific also in conjustion with its issue date and our or different also or different issue date and our network or property consumers to property increase or notative project requires the control documents for rease on another project is not authorized. KEY NOTES SITE PLAN (E) PARKING LOT LIGHT POLE TO REMAIN, PROTECT IN PLACE U.N.O. (E) LANDSCAPE W/IRRIGATIONS SYSTEMS,
PLANTS, ETC. TO BE REPAIRED OR REPLACED
AS NECESSARY TO "AS-NEW" CONDITION AT
END OF CONSTRUCTION (3169 SF.) (E) LANDSCAPE TO BE REMOVED REMOVE (E) CONC. WALK (E) ASPHALT TO BE REMOVED X PARKING STALL COUNT (E) TREE TO REMAIN



Attachment 3 SITE PLAN KEY NOTES Item 3. DBINE B 1 (E) PRIMARY C.O.D. W/ CANOPY UNIT (E) SECONDARY C.O.D. COMBO UNIT W/CANOPY UNIT E) LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE PRIMARY C.O.D TO THE CENTER LINE OF THE NOTE: IF DAMAGED, REPAIR AND REPLACE
LANDSCAPE AND IRRIGATION AS
NECESSARY AT NEW TRASH ENCLOSURE
CONSTRUCTION AREA CASHIER BOOTH WINDOW: 95'-0" 5 (E) LANDSCAPING AREA WITH IRRIGATION SYSTEM (E) GATEWAY AND CONCRETE FOOTING. (E) BLACK CONCRETE PAVING TO REMAIN 1 A0.5 8 (N) BLACK CONCRETE APRON 9 (E) SITE LIGHT POLE TO REMAIN PROTECT IN PLACE 10 (E) BOLLARD TO REMAIN | 11 | (E) ACCESSIBLE CURB RAMP WITH SLOPE ≤ 8% IN DIRECTION OF TRAVEL. 2% MAX CROSS SLOPE | 12 | (E) PARKING STALLS TO REMAIN, REPAINT STRIPES /12/ REV PCA 13 (E) TRUNCATED DOME 14 (E) 4" WIDE BLUE PAINTED STRIPES AT 45" 3' O.C. 15 (E) GREY CONCRETE GUTTER 16 (N) DRIVE THRU SIGN STRIPING Φ. (E) ACCESSIBLE PATH OF TRAVEL SIGN, INDICATING PATH OF TRAVEL FROM PUBLIC WAY TO ACCESSIBLE BUILDING ENTRANCES RELOCATED (E) UNAUTHORIZED PARKING SIGN
(E) ACCESSIBLE PARKING STALLS W/ UNIVERSAL ACCESSIBILITY SYMBOL 21 (E) PRESELL BOARD existing T 22 (E) BIKE RACK **McDonalds** 23 (E) WHEEL STOP 24 (E VAN ACCESSIBLE PARKING SIGN approx. (E) ACCESSIBLE PARKING SIGN (E) CONCRETE CURB TO REMAIN 3,584 s.f. (E) 27 (N) CONCRETE CURB 3,8,9/A0. (E) PATH OF TRAVEL W/5% MAX. SLOPE IN DIRECTION OF TRAVEL, 2% MAX. CROSS SLOPE. 29 (N) CONCRETE APRON PER CITY STANDARD 30 No. 10 18585 31 (N) THRASH ENCLOSURE A0.5 6-3-39-33 32 RELOCATED (E) MAIL BOX NEW STRIPPING 33 34 0" NEW CURB CONTINUOUS GENERAL PATH OF CIRCULATION TLC DO NOT ENTER SIGN FACING DRIVE AISLE; RIGHT TUR ONLY FACING PARKING LOT EXISTING MEDIAN USA, NEW LANDSCAPE AREA 38 -23-/ TYP. PARKING ANALYSIS: \circ (7)/12 Medicard Sections of the control of PROPOSED SPACES: 33 SPACES (15 SPACES REMOVED) CUSTOMER AREA: 920 SF = 21 SPACES REMAINING OCCUPIED AREA: 2,022 SF= 11 SPACES REQUIRED PARKING: 32 SPACES STRIPPING NOTES A YELLOW PAINT (TO MATCH PMS 123 YELLOW PER McDONALD'S STANDARD) SHALL BE USED FOR ALL DRIVE-THRU MARKINGS, TYP. OOSP STALL. 7 B IN THE WORDS 'DRIVE THRU' AND CIRCLE ARROW SHALL BE CENTERED IN THE DRIVEWAY FOR ONE-WAY TRAFFIC (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC THE WORDS 'THANK YOU' SHALL BE CENTERED IN THE DRIVE THRU LANE D WHITE INGRESS/EGRESS ARROWS PER McDONALD'S STANDARD R.F. STD / 09/(09// R.P. DATE 09/ DRIVE ANY LOT STRIPING OTHER THAN DRIVE- THRU OR ACCESSIBLE 30 MARKING PER THE KEY NOTES ABOVE SHALL BE "WHITE". ----(N) PRIMARY ACCESSIBLE PATH OF TRAVEL В DESIGNATED ACCESSIBLE PARKING STALL DRÏVE EXISTING LIGHT POLE TO REMAIN U.O.N. NEW CONCRETE CURB PROJECT NORTH (E) LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND MAINTAINED IN PRISTINE CONDITION (W/IRRIGATION TO REPAIR AND REPLACE AS NECESSARY) NEW CONCRETE PAVING NOTE: REPAIR AND REPLACE LANDSCAPE AND IRRIGATION AS NECESSARY AT NEW DRIVEWAY CONSTRUCTION AREA. NEW ASPHALT CONCRETE PAVING TO MATCH EXISTING (E) TREE TO REMAIN

PROPOSED SITE PLAN

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Site Symbols Legend

3/32"=1'-0"

Attachment 3 Item 3. 1/4" RAD. #4 BAR CONT. T/B 1/4" R. (TYP.) 1" HIGH LETTERING TEXT:

" UNAUTHORIZED VEHICLES PARKED IN
DESIGNATED ACCESSIBLE SPACES NOT
DISPLAYING DISTINGUISHING PLACARDS OR
SPECIAL LICENSE PLATES ISSUED FOR
PERSONS WITH DISABILITIES WILL BE TOWED
AWAY AT THE OWNER EXPENSE. TOWED
VEHICLES MAY BE RECLAIMED, BY
TELEPHONING LOCAL AUTHORITIES AT
760-863-8990 1/4" RAD. (TYP.) — - 4" THK. CONC. WALK W/MEDIUM BROOM FINISH OVER COMPACTED SOIL - No.4 BARS ❷ 24" O.C. EA. WAY SIGN TO BE POSTED AT EACH ENTRANCE TO OFF STREET PARKING FACILITIES PER C.B.C. SEC. 11B-502.8 REV PCX 10-PLANTING CONC. GUTTER
(WHERE OCCURS,
VARIABLE CURB HEIGHTS EQUAL 6" CURFFFRE TO CIVIL
PLUS A.C. PAYING PLUS BASE THICKNESS. PIPE & FOOTING PER DETAIL 5/A0.3 FINISHED GRADE NOTE: EXPOSED SURFACES OF CURB TO BE TROWELED SMOOTH. INSTALL CONTROL JOINTS AT 30'-0" O.C. MAX. CROSS SLOPE OF WALK SHALL NOT EXCEED 1/4" PER FOOT. SCALE: 1 1/2"=1'-0" Sign CURB @ PLANTER 4" THK. CONC. WALK W/MEDIUM BROOM FINISH O/ COMPACTED SOIL #4 BARS @ 24" O.C. EA. WAY CENTERED IN SLAB SCALE: 1 ½"=1'-0" SCALE: 1/4"=1'-0" 6 (3) Ď -PAVING & BASE PER PLAN UNAUTHORIZE PARKING SIGN SIDEWALK THICKENED EDGE 1'-0" 1/2" FELT EXPANSION JOINT MATERIAL W/ 1/2" POLYURETHANE SEALANT ON TOP ____ *PROVIDE 90% MIN. COMPACTION UNDER CONCRETE WALK (TYP.) SIGNAGE PER PLAN TOOLED 1/4"— RAD. EDGES CONC. GUTTER (WHERE OCCURS, REFER TO CIVIL No. 5 SMOOTH DOWELS X 24" SEE PLANS FOR DIMENSION LONG @24" O.C.WRAPPED W/ BOND BREAKER ON ONE SIDE No. C. 18585 (N) CONC.CURB (WHERE OCCURS) REFER TO CIVIL CONCRETE WALK-AGGREGATE BASE-1½" STD. GALV. STEEL POLE EMBED 24" CENTERED IN CONCRETE PIER |(10)|CONCRETE CURB @ SIDEWALK USA, LLC GRADE-90% COMPACTED SUB-GRADE 1'-0" TOP OF PIER TO BE FLUSH W/GRADE OR BOTTOM OF CURB/SLAB (WHERE OCCURS) demangs and specifications on the confidential or yor of McDonoid's USA, LLC and shall not be copie the With an administration. The contract documents we en within specific site in conjunction with the issue so the preparation of the confidential site of a later tild changing for reference or example on another pro-ses of property licensed architects and engineers. NOTES:
1. EXPANSION JOINTS SHALL BE MAX. 25' O.C.TYP.
2. CONTROL JOINT SHALL BE STRAIGHT AND **9** 90 DEGREE ANGLES TO EACH OTHER. 30"DEEP×10"Ø CONCRETE — PIER WITH PIPE 24" INTO CONCRETE FOOTING McDonald's Unserving the specification are the corrective of wholevel is used to the specification and the specification are contract for use on this specific site in conjunction to suitable for use on a different site or these drowings for reference of firetest site or or these drowings for reference or different site or these drowings for reference or different site or or these drowings for reference or control to control documents for reuse or mother or determined. SCALE: 1 ½"=1'-0" 5 1 ½"=1'-0" PIPE&FOOTING DETAIL CONCRETE SIDEWALK DRAWN BY
R.F.
STD ISSUE DATE
STD ISSUE DATE
REVIEWED BY
R.P.
DATE ISSUED
09/12/2022 (N) CONCRETE PAVING O/ 6"A.B. -A.C. PAVING PER PLAN COACHELLA - #4 BARS ூ 18" O.C. EACH WAY DETAILS _____1 __ #4 BAR T&B SCALE: (7)SCALE: 4 SCALE: PAVING EDGE TRANSITION SITE DETAILS

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Attachment 3 4 - TYP. Item 3. HSS 4"x4"x1/8" STEEL COL (TYP) HSS 4"x12"x3/16" STEEL BEAM (TYP HSS 4"x12"x3/16" STEEL BEAM (TYP) HSS 4"x12"x3/16" STEEL BEAM (TYP) --HSS 4"x4"x1/8" STEEL COL (TYP) HSS 4"x4"x1/8" STEEL COL (TYP)-HSS 4"x4"x1/8" STEEL COL (TYP) 14 4 **—7** 7 A $^{\circ}$ **©** (D) TRASH ENCLOSURE ELEVATIONS SCALE : 1/4" = 1'-0"STATEMENT OF SPECIAL INSPECTION:

SPECIAL INSPECTION FOR THE FOLLOWING ITEMS:
FIELD WELDING: FEDD/IED ANCHORS AS PER KEYNOTE # 14 AS
REQUIRED BY CBC 1704.4 3 NSS 4"x4"x1/8" STEEL COL (TYP) KEY NOTES 1 NOT USED 2 6" CONCRETE SLAB ס FLOOR DRAIN SHALL BE INSTALLED AT CENTER OF TRASH ENCLOSURE, REFER TO PLUMBING **/4** 8" CMU WALL, SOLID GROUT W/
CEMENT PLASTER FINISH ON THE
OUTSIDE TO MATCH BUILDING COLOR -8 5 WATER HOSE BIB, IN RECESSED BOX, REFER TO PLUMBING 11 6 10'-0"W X 5'-8"H METAL GATES 5 7 6"ø. X 5'-10"H CONC. FILLED GALV. STEEL POST, TYP. 3 8 6" HIGH CONCRETE WHEEL STOP 11 9 CONTROL/EXPANSION JOINTS SECTION A-A 10 2'-0"ø X 3'-0" CONCRETE FOOTING 11 18" MIN. X 2'-6" CONCRETE FOOTING 6 SLIDE BOLT DETAIL SCALE : N.T.S. CORRUGATED GALYANIZED G-90 - 2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW © 6" O.C. TO STEEL BEAM A0.4 TYP. **D** LLC -5/8"ø THREADED ROD ANCHORS MIN. 5" INTO CMU WALL @ 18"

O.C. MAX AS SHOWN ON PLAN

(ICC-ESR 1772) 13 8"x2"x3/16" THICK L ANGLE (TYP.) 5/8"# ANCHOR BOLT, EMBEDDED A
MIN. 5" INTO CMU WALL @ 24" O.C.
W/EXPOXY ICC ESR 17772 USA, - 8"x2"x1/4" THICK L ANGLE (TYP) 15 SEALED CONCRETE FLOOR WITH EPOXY SEALER AT INSIDE OF TRASH ENCLOSURE - HSS 2"x6"x1/8" RR @ 24" O.C.-Mebonald's Webonald's Imese dowings and specifications are the opposity of McDondo's USA, LLC and shall without within authorization. The controst for use on this specific site in conjunction to suitable for use on a different site or of these drowings for reference accomplication of the controst documents for reuse or mother or not controst documents for reuse or mother. 16 CANE BOLT SUPPORT 3/16" METAL PLATE 5/8" I.D. PIPE SECTION WELDED TO THE CANE BOLT SUPPORT 11'-4" 18 STOP PIN REEL 14'-8" 19 1/2" STEEL CANE BOLT WITH WELDED STOP 20 1" I.D. STEEL PIPE HSS 4"x4"x1/8" STEEL COL (TYP) 21 SLIDE BOLT SUPPORT 3/16" METAL PLATE TRASH ENCL. PLAN 1) IKASH EINCL SCALE: 1/4" = 1'-0" 22 LOCK HASP 23 1/2" STEEL SLIDE BOLT WITH WELDED STOP PIN TRASH ENCL. FRAMING PLAN (2) 5/8" I.D. PIPE SECTION WELDED TO THE SLIDE BOLT SUPPORT AND FRAME STRUCTURAL DESIGN CRITIERIA: -8" CMU WALL; SOLID GROUT, REINFORCED WITH (1) #6 CORRUGATED GALVANIZED G-90 -2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW @ 6" O.C. TO STEEL BEAM 1. CORRUGATED GALVANIZED G-90 -2 1/2" X 1/2" ROOF (18 GAUGE) W/ #8 SCREW ⊕ 6" O.C. TO STEEL BEAM VERTICAL BAR , CENTER OF WALL, ● 16" OC AND #4
HORIZONTAL BAR ● 24" OC R.F. STD 1 09/0 09/ R.P. DATE 09/ 2. ROOF AVERAGE DEAD LOAD, 3 PSF ROOF LIVE LOAD, 10 PSF 1/4"√ BASIC WIND SPEED, (3-SECOND GUST) 110 MILES PER HOUR WIND IMPORTANCE FACTOR, I=1.0 WIND EXPOSURE, C 2. 4X12 X 3/16" STEEL BEAM PER PLAN 2. 4X12 X 3/16" STEEL BEAM PER PLAN COACHELLA 6 DOWEL @ EACH VERTICAL BAR 4. SEISMIC USE GROUP, I SPECTRAL RESPONSE COEFFICIENTS, SS=1.805 S1=0.691 3. STEEL COLUMN PER PLAN 3. STEEL COLUMN PER PLAN 5" THICK CONC. SLAB, W/ #3 @ 18"O.C. EA. WAY 4. STEEL ANGLE PER PLAN 4. STEEL ANGLE PER PLAN 1/4"√ 5. ANCHOR BOLT, SEE PLAN FOR LOCATIONS & SIZE Fa=1.0; Sds= 1.205 STIE CLASS= "D' SEISMIC DESIGN CATEGORY="D" ANCHOR BOLT, SEE PLAN FOR LOCATIONS #4 SLAB DOWEL @ 24" O.C. 6. CMU WALL, SEE PLAN 6. CMU WALL, SEE PLAN 7. ROOF RAFTER PER PLAN. NOTE-PROVIDE END CAP, STEEL PLATE, WELD & GRIND SMOOTH GENERAL REQUIREMENTS 8. 3/16" STEEL PLATE CLOSURE, WELD & GRIND SMOOTH WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: BUILDING CODE: 2013 CALIFORNIA BUILDING CODE ALL APPLICABLE LOCAL, STATE, AND FEREAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE COLOR OF METAL ROOF: LIGHT GRAY COLOR COLOR OF METAL FRAMING: LIGHT GRAY COLOR TO MATCH ROOF'S COLOR COLOR OF METAL ROOF: LIGHT GRAY COLOR COLOR OF METAL FRAMING: LIGHT GRAY COLOR TO MATCH ROOF'S COLOR INSIDE FACE OF TRASH ENCLOSURE SITE.
ALL BEAMS, HDRS, POSTS AND HARDWARE CALLED OUT ON PLANS
MUST BE VERIFIED AT SITE DURING CONSTRUCTION.
EMGINEER OF RECORD IS TO BE MOTIFIED BY THE CONTRACTOR
SHOULD ANY QUESTIONS ARES OR DISCREPANCIES ARE FOUND
PERTAINING TO DRAWINGS AND/OR SPECIFICATIONS.

CONNECTION DETAIL

SCALE: N.T.S.

CONNECTION DETAIL

SCALE : N.T.S.

5 FOOTING DETAIL SCALE : N.T.S.

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Attachment 3 Item 3. avira Urht (10) PLANT LEGEND IF DAMAGED, REPAIR AND REPLACE
LANDSCAPE AS NECESSARY AT NEW TRASH
ENCLOSURE AND WAI KWAY CONSTRUCTION IF DAMAGED, REPAIR AND REPLACE SYMBOL BOTANICAL NAME/COMMON NAME/SIZE ENCLOSURE AND WALKWAY CONSTRUCTION EXISTING LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND EXISTING TREES TO REMAIN PROTECT IN PLACE PRUNE AS NECESSARY TO SHAPE THEN MAINTAINED IN PRISTINE EXISTING LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND CONDITION. THEN MAINTAINED IN PRISTINE CONDITION. **SYMBOL** BOTANICAL NAME/COMMON NAME/SIZE **SHRUBS 9** HESPERALOE PARVIFLORA - RED YUCCA 5 GALLON WUCOLS RATING LOW SENNA ARTEMISIOIDES - FEATHERY CASSIA 5 GAL. WUCOLS RATING LOW ENCELIA FARINOSA - BRITTLE BUSH 5 GALLON WUCOLS RATING LOW EXISTING LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND GENERAL GROUNDCOVER NOTE: PROVIDE 3" LAYER OF SHREDDED WOOD MULCH THEN MAINTAINED IN PRISTINE AS TOP DRESSING FOR ALL PLANTER AREAS SYMBOL SITE LEGEND existing (E) LANDSCAPE W / IRRIGATION TO McDonalds NEW ASPHALT CONCRETE PAVING TO MATCH EXISTING approx. 3,584 s.f. (E) McDonald's USA, LLC

These developed is the confidential on properties of the property of the EXISTING LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND \circ THEN MAINTAINED IN PRISTINE EXISTING LANDSCAPE TO BE TRIMMED AND CLEAN UP AS NECESSARY AND THEN MAINTAINED IN PRISTINE CONDITION. 7 AREA OF NEW LANDSCAPE LANDSCAPE PLAN PREPARED BY: REPAIR AND REPLACE LANDSCAPE AS EXISTING LANDSCAPE TO BE TRIMMED GENE HIRAO NECESSARY AT NEW DRIVEWAY AND CLEAN UP AS NECESSARY AND CONSTRUCTION AREA THEN MAINTAINED IN PRISTINE SHRUB PLANTING DETAIL SCALE: 3/32"=1'-0"

NEW LANDSCAPE AREA PLAN

Attachment 3 Item 3. <u>aviro</u> Urht (10) IF DAMAGED. REPAIR AND REPLACE IRRIGATION AS NECESSARY AT NEW TRASH ENCLOSURE AND WALKWAY CONSTRUCTION IRRIGATION LEGEND SYMBOL MANUFACTURE/MODEL NO. DESCRIPTION PSI GPM RADIUS REMARKS MATCH EXISTING IRRIGATION EMITTER HEAD EXISTING IRRIGATION SYSTEM TO BE EXISTING IRRIGATION SYSTEM TO BE INSPECTED BY CONTRACTOR TO INSURE MATCH EXISTING LATERAL IRRIGATION LINES AND TIE INTO EXISTING SYSTEM INSPECTED BY CONTRACTOR TO INSURE PROPER COVERAGE AND OPERATION. PROPER COVERAGE AND OPERATION. IRRIGATION NOTES:

1. GENERAL CONTRACTOR SHALL VERIFY ACTUAL FIELD CONDITIONS PRIOR TO STARTING WORK. CONTRACTOR TO ADJUST AS NECESSARY POPPOSED IRRIGATION SYSTEM TO WORK WITH EXISTING. CONTRACTOR TO MATCH EXISTING SYSTEM WITH SAME COMPONENTS AND TIE INTO EXISTING LINES.

2. CONTRACTOR TO VERIFY FUNCTIONALITY OF EXISTING IRRIGATION CONTROLLER AND TIE IN NEW EMITTERS AND LATERAL LINES. REPART ANDIOR REPLACE IF NECESSARY TO INSIDE PROPER OPERATION.

3. OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FROM APPROPRIATE AGENCIES.

4. INISTALL RIRIGATION SYSTEM IN CONFORMANCE TO ALL LOCAL AGENCY CODES.

5. CONTRACTOR SHALL GUARANTEE OPERATION OF IRRIGATION SYSTEM AND ALL PARTS FOR ONE YEAR FROM DATE OF OWNERS ACCEPTANCE.

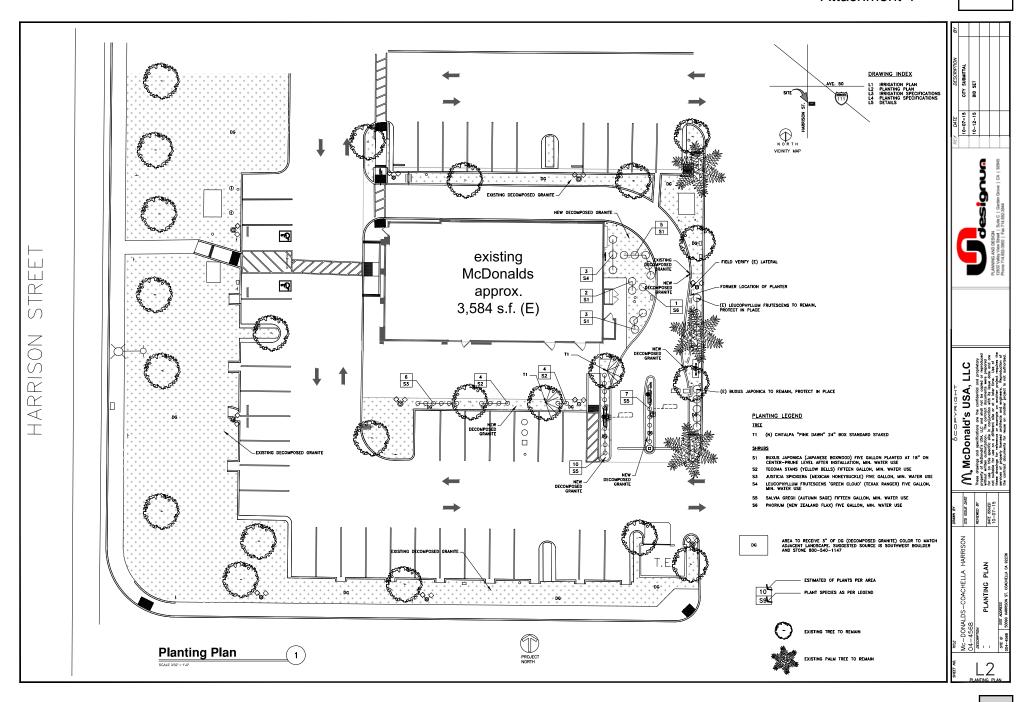
6. CONTRACTOR TO ADD EMITTER HEADS AS NECESSARY TO PROVIDE COMPLETE IRRIGATION SYSTEM. CONTRACTOR TO MATCH EXISTING SYSTEM WITH SAME COMPONENTS AND TIE INTO EXISTING LINES. REPAIR AND REPLACE AS NECESSARY REPAIR AND REPLACE AS NECESSARY REPAIR AND REPLACE AS NECESORY.

TO PROVIDE EFFICIENT AND EFFECTIVE 40.5 TO PROVIDE EFFICIENT AND EFFECTIVE OPERATION. 9 REV PCA EXISTING IRRIGATION SYSTEM TO BE INSPECTED BY CONTRACTOR TO INSURE PROPER COVERAGE AND OPERATION. REPAIR AND REPLACE AS NECESSARY
TO PROVIDE EFFICIENT AND EFFECTIVE existing McDonalds **-**∙Ø approx. 3,584 s.f. (E) Medonald's USA, LLC
These durings and specification are the confidential and proprietary property of McDonald's USA. LLC and shall not be copied or reproduced without without which are unduring used. The conjunction with its issue date and are so tail or all a later time. Use of these drawings for reference or sample on onther project requires the services of property (increased architecture). The confidence of another project is not authorized. EXISTING IRRIGATION SYSTEM TO BE INSPECTED BY CONTRACTOR TO INSURE FROPER COVERAGE AND OPERATION.

REPAIR AND REPLACE AS NECESSARY CONTRACTOR TO MATCH NEW IRRIGATION \circ **(7**) EMITTER HEADS WITH THOSE THAT ARE CURRENTLY EXISTING . TIE INTO EXISTING IRRIGATION LATERAL LINES AS NECESSARY TO TO PROVIDE EFFICIENT AND EFFECTIVE OPERATION. PROVIDE PROPER OPERATION. CONTRACTOR EXISTING IRRIGATION SYSTEM TO BE TO VERIFY ACTUAL FIELD CONDITIONS AND TIE INSPECTED BY CONTRACTOR TO INSURE INTO EXISTING IRRIGATION SYSTEM REPAIR AND REPLACE AS NECESSARY. PROPER COVERAGE AND OPERATION REPAIR AND REPLACE AS NECESSARY TO PROVIDE EFFICIENT AND EFFECTIVE 7 EXISTING IRRIGATION SYSTEM TO BE REPAIR AND REPLACE IRRIGATION AS INSPECTED BY CONTRACTOR TO INSURE NECESSARY AT NEW DRIVEWAY PROPER COVERAGE AND OPERATION. CONSTRUCTION AREA REPAIR AND REPLACE AS NECESSARY LANDSCAPE PLAN PREPARED BY: TO PROVIDE EFFICIENT AND EFFECTIVE GENE HIRAO OPERATION. 15 POSADA IRVINE, CALIFORNIA 92614

NEW IRRIGATION AREA PLAN

SCALE: 3/32"=1'-0" 43



Existing Conditions Photos – McDonald's Restaurant











Landscape Area Existing Conditions









STAFF REPORT 11/16/2022

To: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: Coachella General Conditional Use Permit No. 357

SPECIFICS: Conditional Use Permit No. 357 is a request by Teddy Lee for operation of a

Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery

at 1258 Sixth Street (APN# 778-110-003)

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission continue consideration of the Conditional Use Permit No. 357 for the Coachella General establishment for operation of a Type 41 Wine and Beer license for a wine and beer lounge with coffee roastery at 1258 Sixth Street to the Planning Commission meeting of December 7, 2022. The item was not properly noticed in the Desert Sun, but notices to surrounding property owners were mailed. The subject item will be noticed properly in the Desert Sun pursuant to the City's noticing requirements for the December 7, 2022 meeting.



STAFF REPORT 11/16/2022

To: Planning Commission Chair and Commissioners

FROM: Gabriel Perez, Development Services Director

SUBJECT: <u>City of Coachella 6th Cycle Housing Element</u>

SPECIFICS: General Plan Amendment No. 21-02 and Environmental Assessment No. 22-03

for consideration of the City of Coachella 6th Cycle Housing Element

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission continue consideration of the City of Coachella 6th Cycle Housing Element to January 18, 2023. A draft of the Housing Element Update has been prepared and is currently under second review by the California Department of Housing and Community Development (HCD). Staff does not have an update when HCD will be complete with its review of the draft Housing Element and originally provided public notice.

BACKGROUND:

The City of Coachella Development Services Department has prepared the 6th Cycle Housing Element to comply with State requirements to address existing and future housing needs for persons of all economic groups in the City of Coachella. The Housing Element is a tool for use by community members and public officials in understanding and meeting the housing needs in Coachella. The current draft of the Coachella Housing Element is posted on the City's website https://www.coachellahousingelement.com/.